

DECLARATION OF CONDOMINIUM  
of  
CRESCENT HILLS CONDOMINIUMS

CRESCENT HILLS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, herein referred to as "developer", for themselves, their successors, grantees, and assigns, do hereby, on this 15<sup>th</sup> of March, 2006, make, declare and publish its intention to submit, and does hereby submit, in fee simple the real property, together with all buildings, units, and improvements thereon, hereinafter described to condominium ownership and use in accordance with Chapter 718, Florida Statutes, known and cited as the "Condominium Act", as follows:

ARTICLE I  
NAME & LEGAL DESCRIPTION

**§ 1.1. NAME.** The name of this condominium is to be Crescent Hills Condominiums, hereinafter referred to as the "condominium."

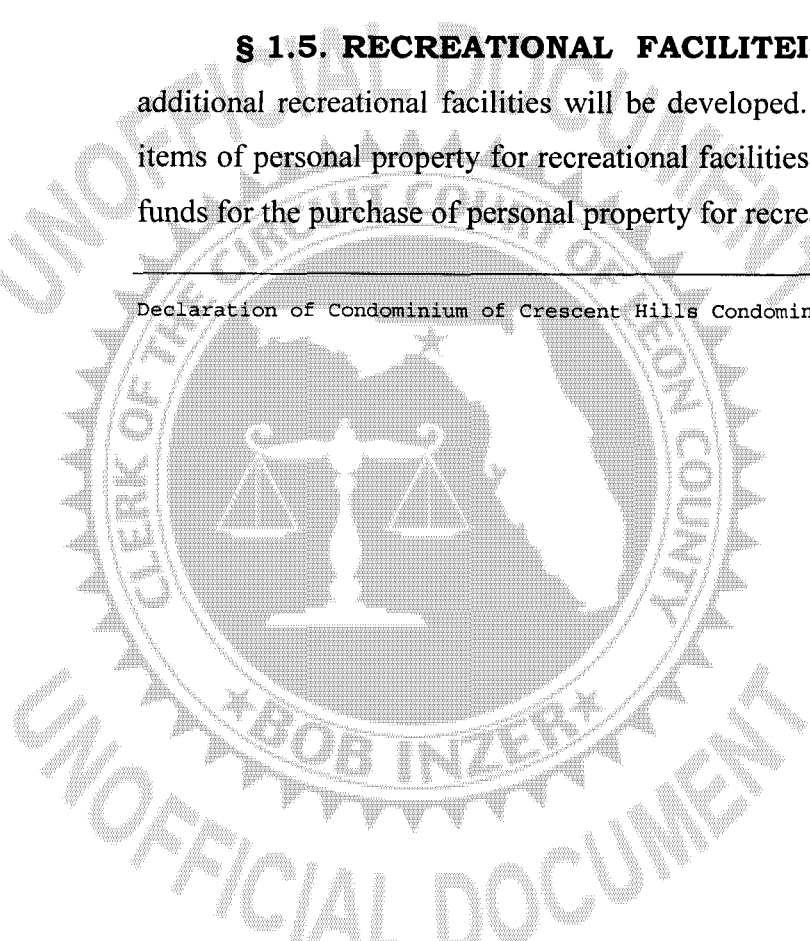
**§ 1.2. LEGAL DESCRIPTION.** The legal description of the land to be included, which is submitted hereby to condominium ownership, is as follows:

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF**

**§ 1.3. NO ADDITIONAL PHASES.** The Developer does not reserve the right to add any additional phases.

**§ 1.4. TIMESHARE ESTATES.** Timeshare estates will not be created by the Developer.

**§ 1.5. RECREATIONAL FACILITEIS.** There are no recreational facilities. No additional recreational facilities will be developed. The Developer is not committed to furnish any items of personal property for recreational facilities, and the developer does not intend to expend any funds for the purchase of personal property for recreational facilities.

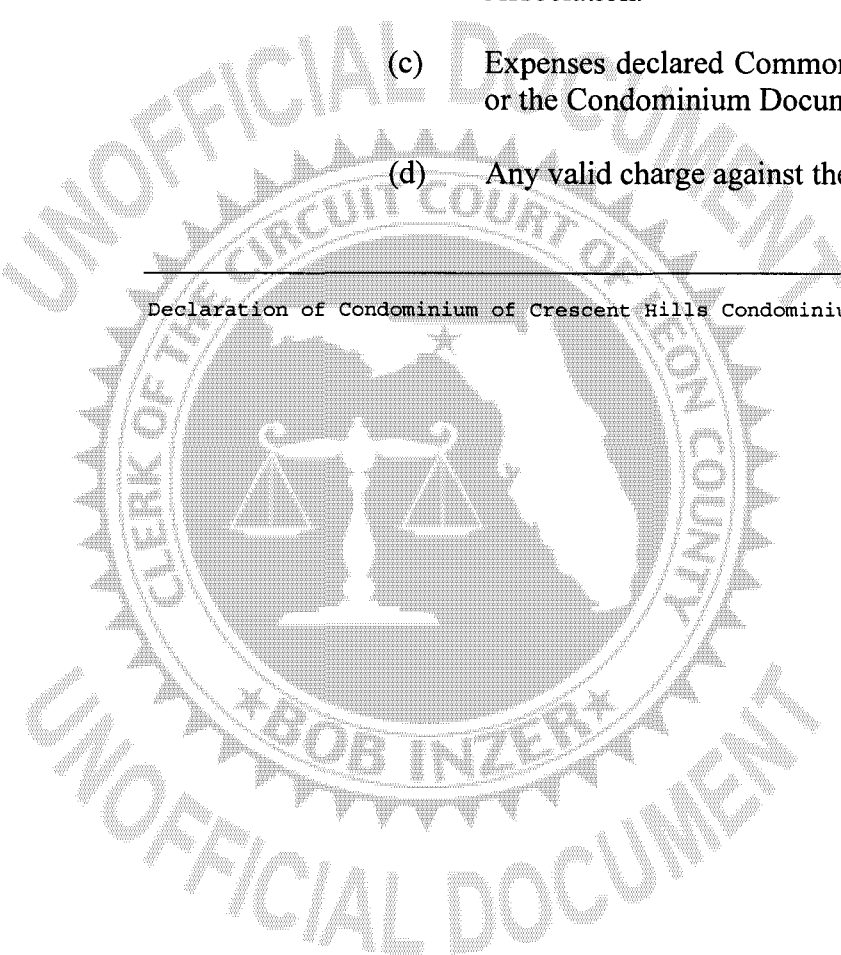


<p><b>ARTICLE II</b>  <b>INCORPORATION OF CONDOMINIUM ACT AND DEFINITIONS</b></p>
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All terms and provisions of the Condominium Act, Chapter 718, which are not inconsistent with the terms of this declaration, are incorporated herein. If any terms and provisions of this declaration are inconsistent with the Condominium Act, such inconsistency shall not affect the validity of this declaration, rather, the applicable terms and provisions will be deemed to be replaced by those required by the Condominium Act.

Capitalization, or lack thereof, throughout this declaration, shall not change the meanings of the words defined below.

- § 2.1. "Association" means Crescent Hills Condominiums Association, Inc., a non-profit Florida corporation, or its assigns, which is and shall be responsible for the operation, administration and management of the condominium. Each unit owner is a member, and has voting rights, in the association, as specifically provided in the Bylaws that are attached hereto as Exhibit "C".
- § 2.2. "Common Elements" means the portions of the condominium property not included within any units, and further defined in Article VII hereof.
- § 2.3. "Common Expenses" shall include:
- (a) Expenses of administration and management of the Condominium Property and of the Association including, but not limited to, compensation paid by the Association to a manager, accountant, attorney or other employee or independent contractor.
  - (b) Expenses of maintenance, operation, repair and replacement of the Common Elements and Limited Common Elements, including, but not limited to, all stormwater drainage and retention areas, recreational facilities, driveways, sidewalks; as well as all other costs and expenses property incurred by the Association.
  - (c) Expenses declared Common Expenses by the provisions of this Declaration or the Condominium Documents or Chapter 718.
  - (d) Any valid charge against the Condominium Property as a whole.



- (e) All costs and expenses incurred by the Association in connection with regulatory compliance.
- (f) All reserves for replacement and maintenance of the Condominium Property as required by Chapter 718.
- (g) Casualty and/or liability insurance on the Condominium Property and fidelity bonds;
- (h) Utility Services for the Condominium Property not attributable to individual Units;
- (i) Taxes on Association Property; Common Expenses shall not include Ad Valorem Real Estate Taxes assessed against each Condominium Parcel but shall include any and all taxes assessed against Association Property.
- (e) Any other expenses incurred in the normal operation and maintenance of the Condominium which cannot be attributed to a particular Owner.

§ 2.4. **“Condominium”** shall mean and refer to Crescent Hills Condominiums.

§ 2.5. **“Condominium Act” or “Chapter 718”** shall mean the provisions of Chapter 718, Florida Statutes, as the same is constituted on the date of the recording of this Declaration.

§ 2.6. **“Declaration”** shall mean this Declaration of Condominium of Crescent Hills Condominiums, and all subsequent amendments.

§ 2.7. **“Developer”** shall mean Crescent Hills, LLC, a Florida Limited Liability Company, its successors and assigns. No party other than Crescent Hills, LLC, a Florida Limited Liability Company, shall exercise the rights and privileges reserved herein to the Developer unless such party shall receive and record in the Public Records of Leon County, Florida, a written assignment from Crescent Hills, LLC, a Florida Limited Liability Company, of all or a portion of such rights and privileges.

§ 2.8. **“Limited Common Elements”** means and includes those Common Elements which are reserved for the use of a certain Unit to the exclusion of other Units.

§ 2.9. **“Utility Services”** shall include, but not be limited to, electric power, cable television, water, garbage and sewage disposal and telephone service, and all other public service and convenience facilities.



**ARTICLE III**  
**EXHIBITS**

The Exhibits referred to in this Declaration shall include the following:

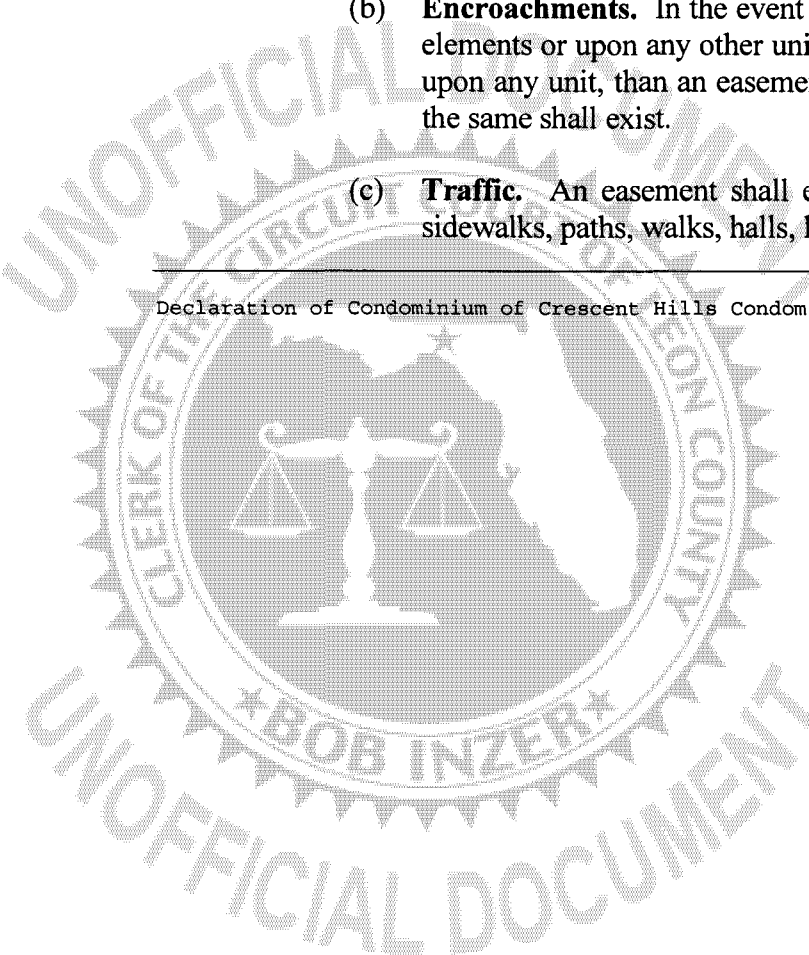
- § 3.1. **Exhibit "A"**. A legal description, survey of the land and a graphic description of the improvements in which units are located and a plot plan thereof that, together with this Declaration, are in sufficient detail to identify the Common Elements and each unit and their relative locations and approximate dimensions.
- § 3.2. **Exhibit "B"**. The Articles of Incorporation of the Association.
- § 3.3. **Exhibit "C"**. The Bylaws of the Association.
- § 3.4. **Exhibit "D"**. Percentage Interest in the Common Elements.
- § 3.5. **Exhibit "E"**. The Condominium Rules and Regulations.

**ARTICLE IV**  
**EASEMENTS**

The following easements are hereby expressly reserved or have been granted:

**§ 4.1. GENERAL EASEMENTS.** Nonexclusive easements over, across and under the condominium property are expressly provided for and reserved in favor of the developer and the owners and their respective lessees, guests and invitees as follows:

- (a) **Utilities.** Easements are reserved over, across and under the condominium property as may be required for utility service in order to serve the condominium adequately; including, but not limited to, easements for the purpose of allowing such access rights as are necessary to utilize and service any lift station or utility transformer boxes located within the condominium property. Specific utility easements that presently exist on the condominium property, if any, are set forth in Exhibit "A".
- (b) **Encroachments.** In the event that any unit shall encroach upon any of the common elements or upon any other unit, or in the event any common element shall encroach upon any unit, then an easement shall exist to permit such encroachment so long as the same shall exist.
- (c) **Traffic.** An easement shall exist for pedestrian traffic over, through, and across sidewalks, paths, walks, halls, lobbies, and other portions of the common elements as

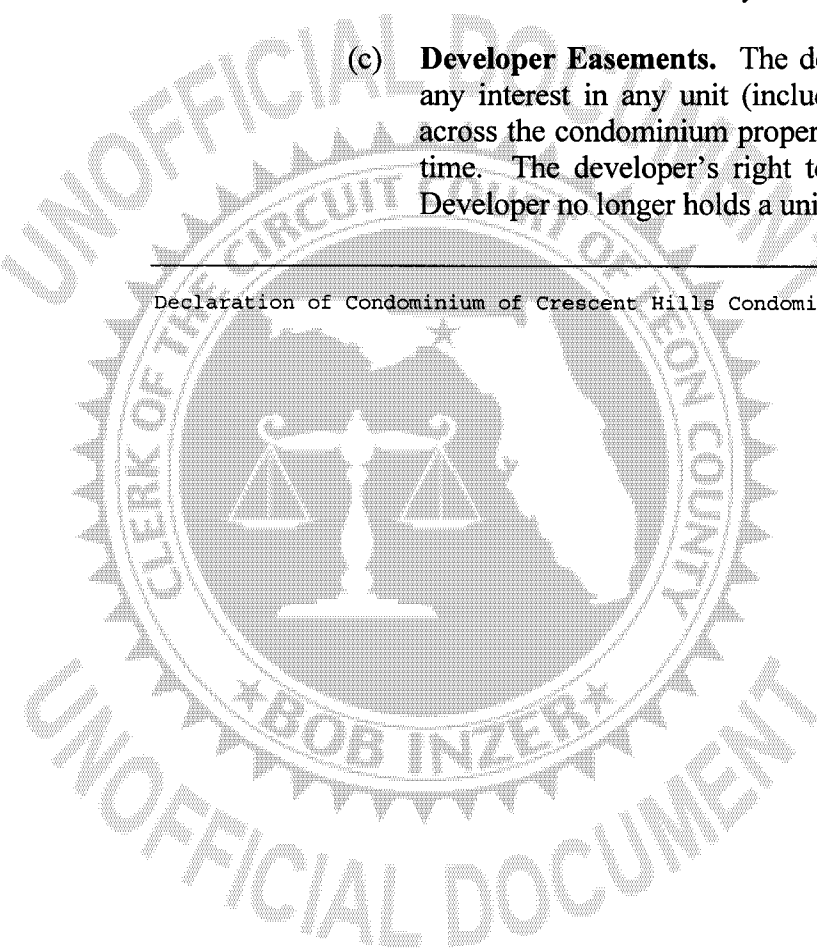


may be from time to time intended and designated for such purpose and use. An easement shall exist for vehicular and pedestrian traffic over, through, and across such portions of the common elements as may from time to time be paved and intended for such purposes, and such easements shall be for the use and benefit of the owners within the condominium and those claiming by, through, or under the aforesaid; provided, however, nothing herein shall be construed to give or create in any person the right to park any vehicle upon any portion of the condominium property, except to the extent that space may be specifically designated and assigned for parking purposes. Furthermore, easements shall exist for ingress and egress over such streets, walks, and other rights-of-way serving the units as shall be necessary to provide for reasonable access to the public rights-of-way. Specific ingress/egress easements that presently exist on the condominium property, if any, are set forth in Exhibit "A".

**§ 4.2. ASSOCIATION EASEMENTS.** Except as limited by Section 718.111(10), Florida Statutes, the association may grant easements from time to time over the common elements. The Association has the irrevocable right of access to each Unit and the Limited Common Elements appurtenant thereto whenever necessary for maintaining the Common Elements, for making emergency repairs necessary to prevent damage to the Common Elements or to another Unit and for servicing and reading utility lines, valves, conduits and meters.

**§ 4.3. DEVELOPER EASEMENTS.** As long as the Developer holds units for sale in the ordinary course of business, the developer hereby reserves the following exclusive easements and rights to grant easements:

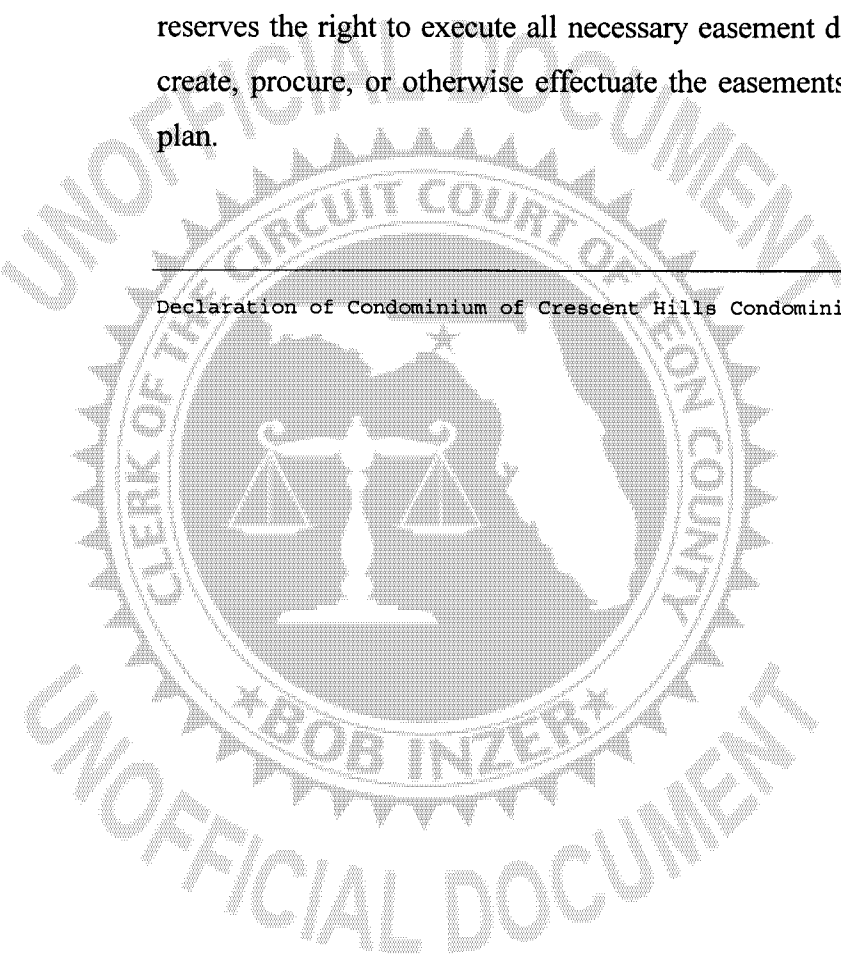
- (a) **Marketing, Sales, and Rental.** The developer reserves exclusive easement rights over and across the condominium property for the purposes of marketing, sales, and rental of units.
- (b) **Government Requirements.** The developer hereby reserves the right to grant such easements from time to time as may be required by any government agency. Such easements shall specifically include, but not be limited to, any environmental easements required by state or federal environmental agencies for so long as the developer holds any interest in any unit subject to this declaration. The developer's right to act according to this section shall end when the Developer no longer holds a unit for sale in the ordinary course of business.
- (c) **Developer Easements.** The developer reserves unto itself, for so long as it holds any interest in any unit (including leaseholds), specific easement rights over and across the condominium property as it may deem necessary for its use from time to time. The developer's right to act according to this section shall end when the Developer no longer holds a unit for sale in the ordinary course of business.



- (d) **Construction Easements.** The developer, hereby reserves easement rights over, under, and across the condominium property as is necessary from time to time for the purpose of constructing improvements according to the condominium plot plan and survey and to accomplish the development according to the Condominium Declaration and the developer's plans of construction, and to provide units or common areas with utility services, phone lines, cable, water, internet, sewer, or other services. From time to time during construction, third party utility or other service providers may request specific easements necessary to provide the services to the units or common areas, and the developer reserves the right, without joinder from unit owners, to grant any easements necessary to accomplish the development plan. The developer's right to act according to this section shall end when the Developer no longer holds a unit for sale in the ordinary course of business.

**§ 4.4. EASEMENTS.** As long as the Developer holds units for sale in the ordinary course of business, the developer, for itself, its successors and assigns, hereby reserves a perpetual nonexclusive easement over, under, across, and through all of those portions of the condominium property, association property, and the common elements which are used as driveways, entry roads, parking areas, or for pedestrian or vehicular traffic, ingress and egress or loading, or otherwise generally intended for ingress and egress to and from a publicly dedicated right-of-way. The intent of this easement is to afford access, ingress and egress to the nearest publicly dedicated right-of-way and the non-exclusive right to share parking with the condominium property, regardless of whether such rights are ever otherwise declared for condominium use or made a part of the condominium in any other separate document recorded in the public records. Developer further reserves for itself, its successors and assigns, a perpetual nonexclusive easement over the condominium and common elements, necessary to provide utility services, including the right to drain storm water into any retention or detention ponds located upon the common elements, to utilize any storm water management facilities and structures, and to tap into and connect with any water, sanitary sewer, or other utility lines located within the condominium and common elements, including the right to tap into and connect with any sanitary sewer lift station located thereon.

**§ 4.5. OTHER EASEMENTS.** Other easements, if any, may have been granted over the condominium property as set forth in the survey contained in Exhibit "A" attached hereto. The Developer reserves the right to execute all necessary easement documents, without joinder of other unit owners, to create, procure, or otherwise effectuate the easements intended and/or necessitated by the development plan.

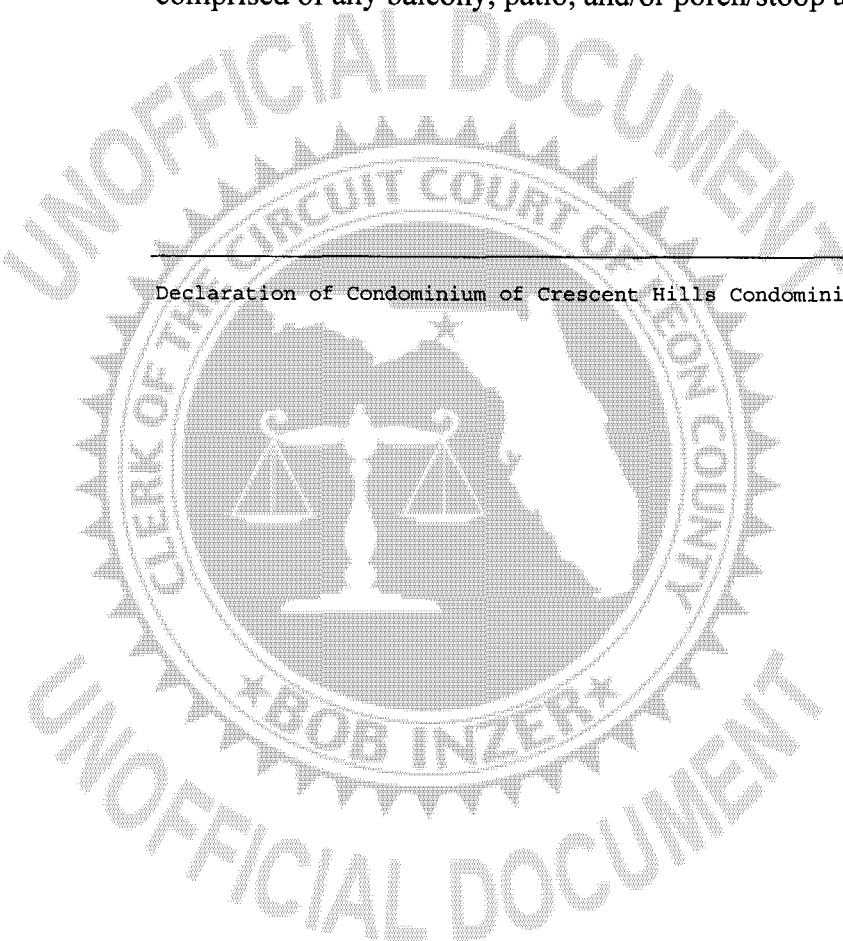


**ARTICLE V**  
**UNITS**

**§ 5.1. DESCRIPTION OF UNITS.** Each Unit shall include that part of a building containing the Unit that lies within the boundaries of the Unit, as particularly shown on the plot plan, floor plans, and any other applicable exhibits defining the boundaries. The boundaries are otherwise generally defined as follows:

- (a) **Upper and Lower Boundaries.** The upper and lower boundaries of the Unit shall be the following boundaries extended to an intersection with the perimeter boundaries:
- (1) **Upper Boundaries.** The plane of the lowest surface of the unfinished ceiling and the plane of the lowest surface of the unfinished entry ceiling.
  - (2) **Lower Boundaries.** The plane of the lowest surface of the top of the unfinished floor slab and the plane of the surface of the top of the unfinished entry floor slab.
  - (3) **Entry Elevations.** Entry floor slab elevations at innermost unfinished surface of the exterior wall thereof are equal to the Unit floor slab elevation.
- (b) **Perimeter Boundaries.** The perimeter boundaries of the Unit shall be the following boundaries extended to an intersection with the upper and lower boundaries:
- (1) **Exterior Building Walls.** The intersecting vertical plane(s) of the innermost unfinished surfaces of the exterior wall of the building bounding such Unit and as to the entry which is a part of a Unit. Such boundaries shall be the intersecting vertical planes which include all of such structures of the innermost unfinished surface of the exterior concrete floor slab thereof.
  - (2) **Interior Building Walls.** The vertical planes of the innermost unfinished surface of the interior walls bounding such Unit extended to intersections with other perimeter boundaries.

**§ 5.2. LIMITED COMMON ELEMENTS.** Limited Common Elements shall be comprised of any balcony, patio, and/or porch/stoop appurtenant to any Unit.



**ARTICLE VI**  
**WARRANTY**

EXCEPT FOR THOSE WARRANTIES SPECIFICALLY REQUIRED BY CHAPTER 718, FLORIDA STATUTES, THE DEVELOPER DOES NOT MAKE ANY WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, AND THE DEVELOPER HEREBY DISCLAIMS ANY SUCH WARRANTIES OF ANY KIND OR TYPE WHATSOEVER, INCLUDING, BUT NOT LIMITED TO, IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, AND THE OWNERS AND THE ASSOCIATION ACKNOWLEDGE, ACCEPT, AND AGREE TO THE DEVELOPER'S DISCLAIMER AND ASSUME ALL RISK AND LIABILITY RESULTING FROM THE PURCHASE AND USE OF THIS PROPERTY.

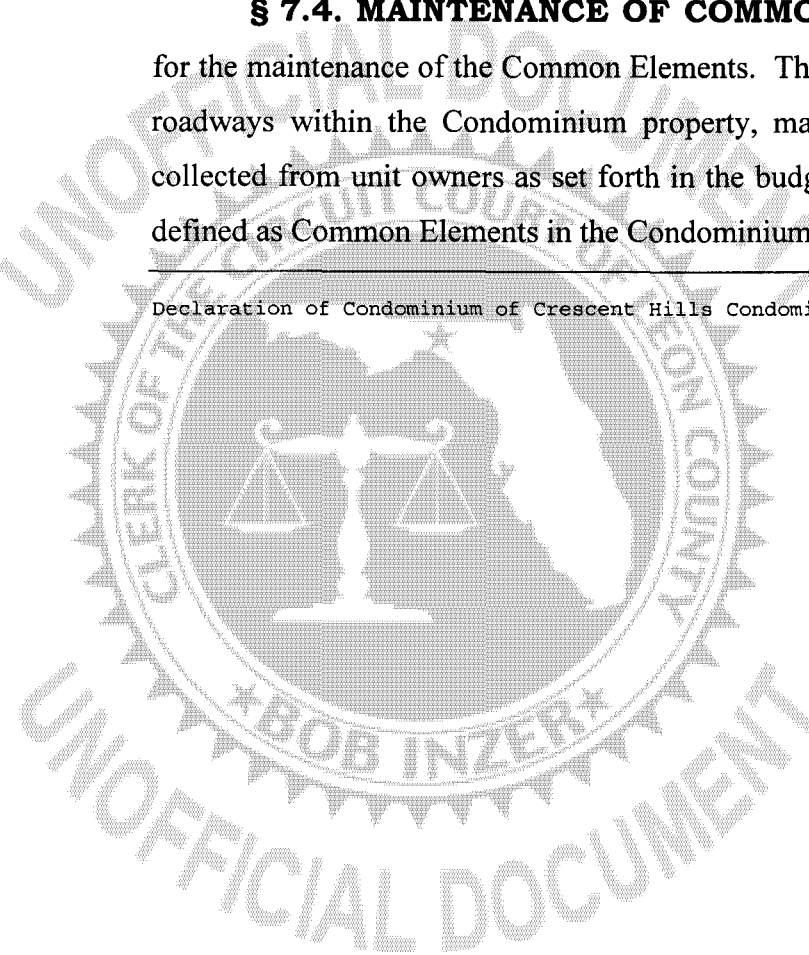
**ARTICLE VII**  
**APPURTENANCES**

**§ 7.1. APPURTENANT INTERESTS.** Each Unit shall have as an appurtenance thereto an equal undivided share of the Common Elements and Common Surplus as more specifically described on Exhibit "D" attached hereto and by this reference incorporated herein.

**§ 7.2. FRACTIONAL LIABILITY FOR COMMON EXPENSES.** The percentage or fractional shares of liability for common expenses is the same as the undivided shares of ownership of the common elements and common surplus appurtenant to each unit as provided in Exhibit "D" attached hereto.

**§ 7.3. PARTITION OF COMMON ELEMENTS.** The share of the undivided percentage interest in the Common Elements appurtenant to each Unit shall remain undivided, and no Owner shall bring, or have any right to bring, any action for partition or division of same.

**§ 7.4. MAINTENANCE OF COMMON ELEMENTS.** The Association is responsible for the maintenance of the Common Elements. This includes, but is not limited to, maintenance of the roadways within the Condominium property, maintenance of all items for which assessments are collected from unit owners as set forth in the budget, and maintenance of all items and areas that are defined as Common Elements in the Condominium documents and Condominium Act.





<b>ARTICLE VIII</b> <b>ASSESSMENTS</b>
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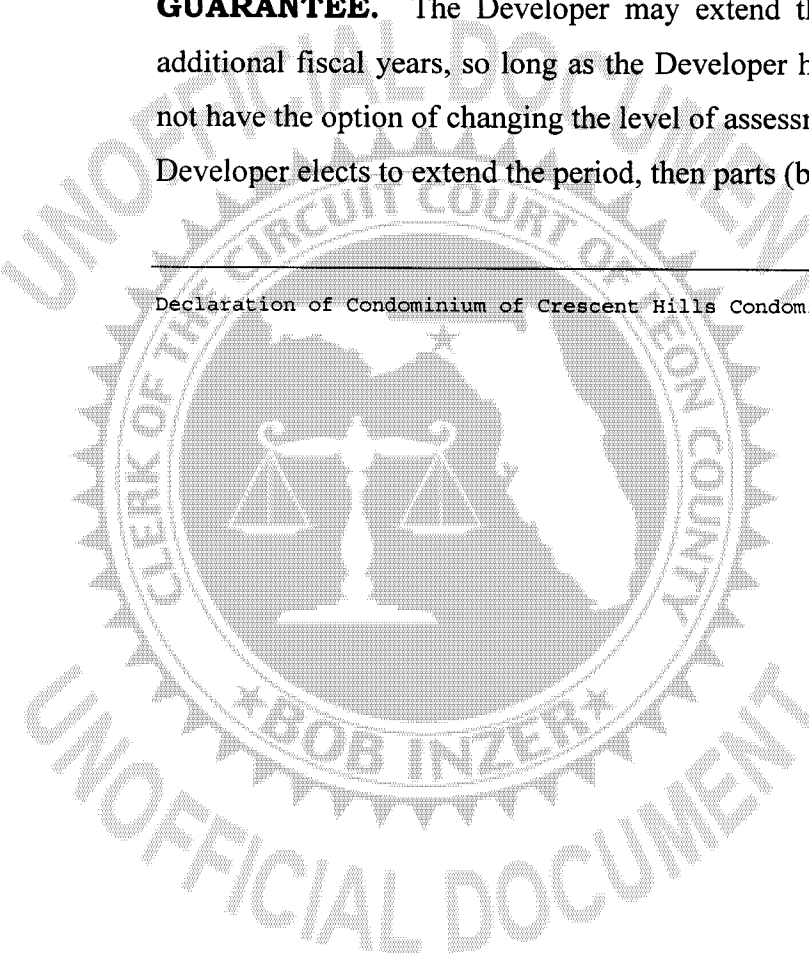
**§ 8.1 ASSESSMENTS.** The Association has the responsibility, duties, and powers, to collect all Condominium assessments as provided and specified in the Bylaws.

**§ 8.2 DEVELOPER EXCUSAL FROM ASSESSMENTS AND DEVELOPER GUARANTEE.** The Developer, while offering units for sale, is excused from payment of assessments against all unsold units for a period of time until termination as stated in § 8.3 below, and during this period of excusal the Developer guarantees to all purchasers and unit owners of the condominium that assessments will not exceed TWO HUNDRED DOLLARS (\$200.00) per month, which is equivalent to \$600.00 per quarter, and the Developer will pay any common expenses that exceed the guaranteed amount.

**§ 8.3 DURATION OF DEVELOPER EXCUSAL AND GUARANTEE.** The excusal and guarantee period will commence upon the creation of the condominium, and end at the first occurrence of any of the following events:

- (a) The expiration of the initial fiscal year (DECEMBER 31, 2006);
- (b) The date at which the Unit Owners other than the Developer are entitled to elect not less than a majority of the members of the board of directors of the association according to the terms of the Bylaws and as required by Chapter 718, Florida Statutes;
- (c) The time at which the Developer has sold all its units so that the Developer holds no units for sale;

**§ 8.4 OPTIONAL EXTENSION OF DEVELOPER EXCUSAL AND GUARANTEE.** The Developer may extend the excusal and guarantee period for one or more additional fiscal years, so long as the Developer holds unsold units; provided that the developer does not have the option of changing the level of assessments guaranteed as part of such an extension. If the Developer elects to extend the period, then parts (b) and (c) of § 8.3 above will also be applicable.



<b>ARTICLE IX</b> <b>AMENDMENTS</b>
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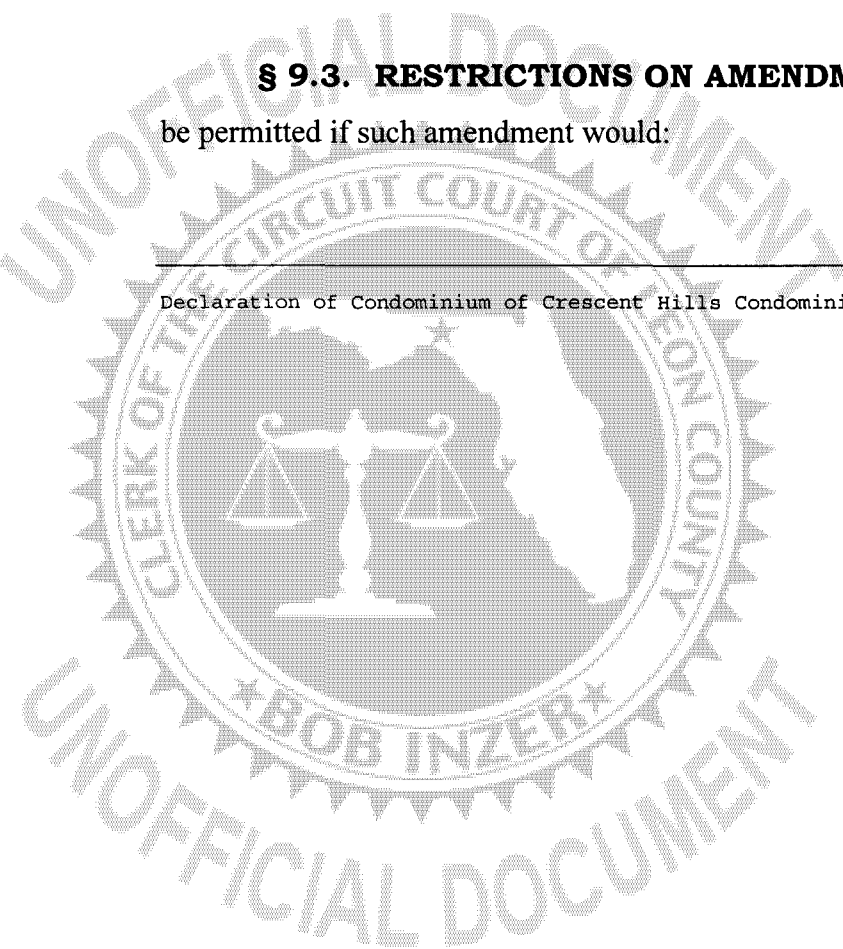
**§ 9.1. BY OWNERS.** Unit Owners may vote to amend this Declaration as provided by Chapter 718, Florida Statutes. Amendments by a vote of the Unit Owners shall be governed by the same procedures for proposal and adoption as set forth in the Bylaws.

Each amendment shall be attached to or shall contain a certificate certifying that the amendment was duly adopted, and the certificate shall be executed by the president of the Association and attested by the secretary with the formalities of a deed, and said amendment shall be effective upon recordation of the amendment and certificate in the Public Records of Leon County, Florida.

**§ 9.2. BY THE DEVELOPER.** Except for amendments restricted by § 718.110(4) and § 718.110(8), the Developer reserves the right at any time, so long as it owns any of the Units in the Condominium, to unilaterally amend this Declaration as it may deem appropriate, in its sole discretion, to carry out the purposes of the project, or as may be required by any lending institution, FHA, VA, FHLMC, FNMA, title insurance company or public body, or as may be necessary to conform the same to the requirements of law or to facilitate the operation and management of the Condominium or the sale of Units in an FHA/VA approved condominium. The Developer may also make amendments to fix typographical or clerical errors. Any amendments to this Declaration which may be unilaterally made by the Developer shall become effective upon the recording in the Public Records of Leon County, Florida, of an instrument executed solely by the Developer with the formalities of a deed, setting forth the text of such amendment in full, together with the appropriate recording data of this Declaration.

Amendments restricted by § 718.110(4) and § 718.110(8) are not valid unless the record owner of each unit of the condominium and the record owners of liens on each unit of the condominium join in the execution of the amendment.

**§ 9.3. RESTRICTIONS ON AMENDMENTS.** No amendment to this Declaration shall be permitted if such amendment would:



- (a) change the configuration, size, or boundaries of any Unit in any material fashion;
- (b) materially alter or modify the appurtenances to any Unit;
- (c) change the proportion or percentage by which the Owners share the Common Expenses and own the Common Surplus;
- (d) prohibit leasing/rental of a unit or part of a unit to a tenant or tenants;
- (e) permit timeshare estates to be created in any unit of the condominium.

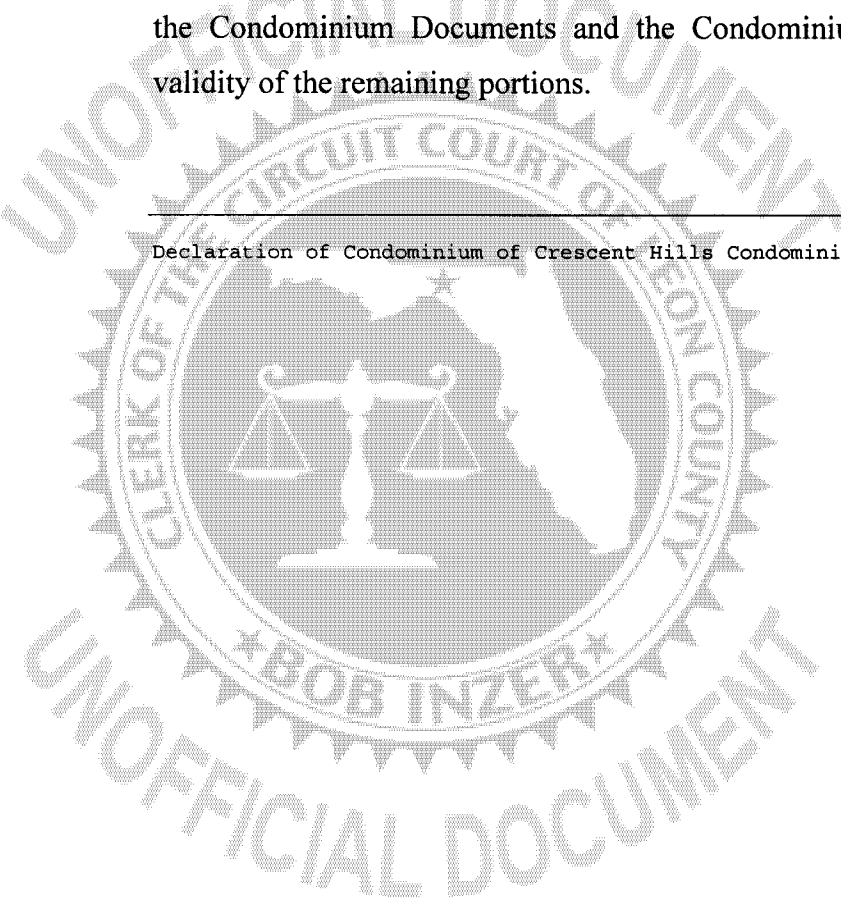
unless the record owner of each unit of the condominium and the record owners of liens on each unit of the condominium join in the execution of the amendment.

**§ 9.4. CONSENT OF MORTGAGEES.** Pursuant to § 718.110(11), Florida Statutes, the consent or joinder of some or all mortgagees of units to or in amendments to the declaration is not required unless the amendments materially affect the rights or interests of the mortgagees, or as otherwise required by the Federal National Mortgage Association or the Federal Home Loan Mortgage Corporation. Consent of mortgagees may not be unreasonably withheld. It shall be presumed that except as to those matters described in § 718.110(4) and 718.110(8), amendments to the declaration do not materially affect the rights or interests of mortgagees. In the event mortgagee consent is provided other than by properly recorded joinder, such consent shall be evidenced by affidavit of the association recorded in the public records of the county where the declaration is recorded.

**§ 9.5. NOTICE TO MORTGAGEES.** Mortgagees shall be given adequate notice of any proposed amendments to the declaration that materially affect the rights or interests of mortgages.

**ARTICLE X**  
**SEVERABILITY**

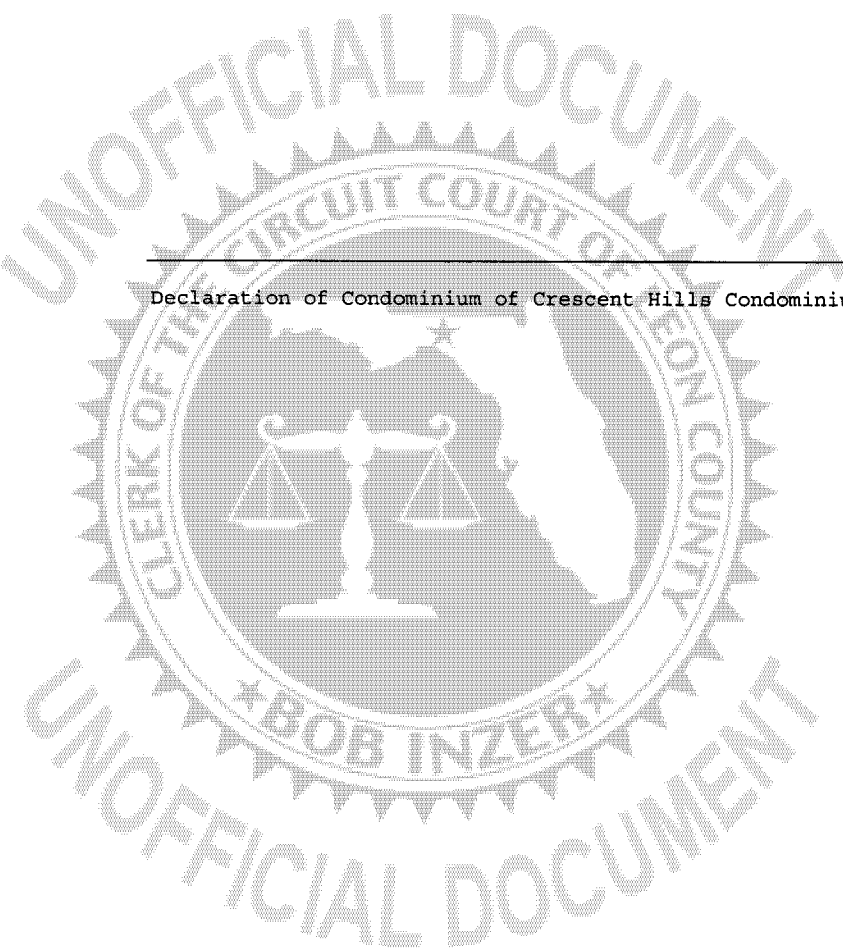
**§ 10.1. SEVERABILITY.** The invalidity in whole or in part of any covenant or restriction, or any article, section, subsection, sentence, clause, phrase or word, or other provision of the Condominium Documents and the Condominium Rules and Regulations shall not affect the validity of the remaining portions.



**ARTICLE XI**  
**MEMBERSHIP and VOTES**

**§ 11.1. MEMBERSHIP.** The owners of the condominium units shall be members in the Association pursuant to the provisions of the Articles of Incorporation and Bylaws of the Association.

**§ 11.2. VOTES.** Each Unit shall have one (1) vote in the Association. See the Bylaws for more detail regarding the voting process and procedure.



**EXECUTION**

IN WITNESS WHEREOF, the Developer has executed this Declaration this 15<sup>th</sup> day of March, 2006.

**WITNESSES:**

[Signature]  
Signature

Vickie Goodman  
Printed Name

[Signature]  
Signature

Elizabeth J. Colvin  
Printed Name

**DEVELOPER SIGNATURE:**

CRESCENT HILLS, LLC,  
A FLORIDA LIMITED LIABILITY COMPANY

By: [Signature]  
Mehrdad Ghazvini

[Signature]  
Jim Bennett

[Signature]  
Gibbes Miller

As: Managing Members

**NOTARY**

STATE OF FLORIDA  
COUNTY OF LEON

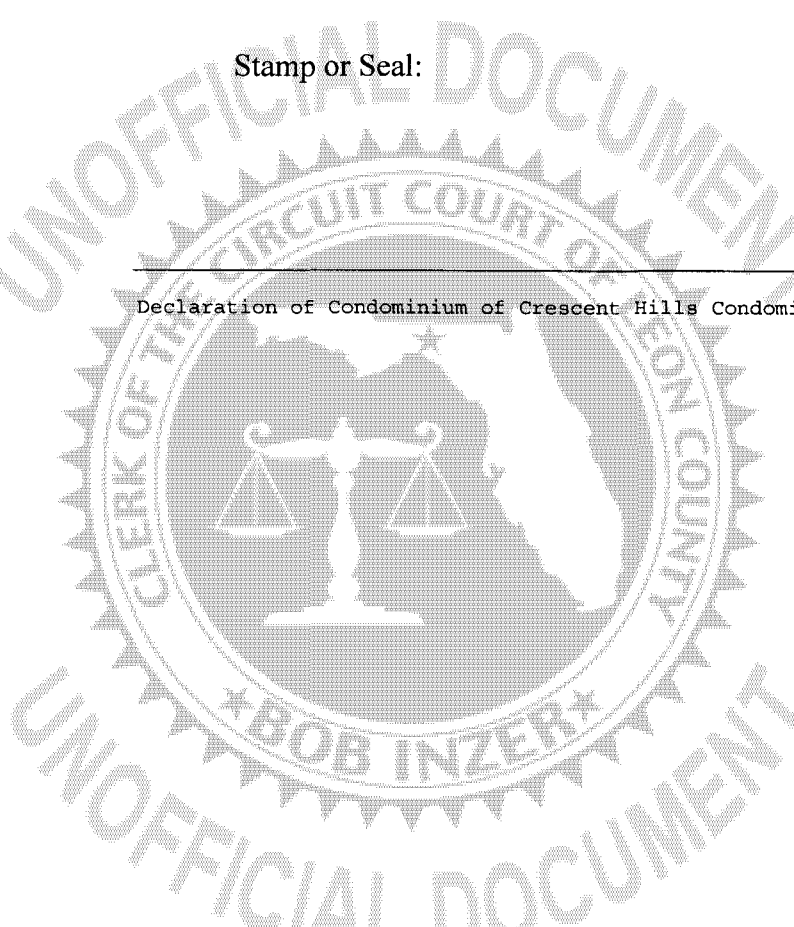
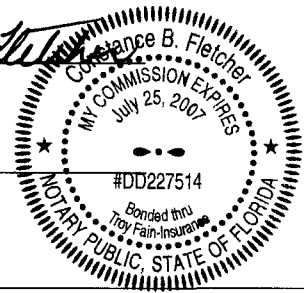
**BEFORE ME**, the undersigned authority authorized to take acknowledgments in the state and county aforesaid, appeared Mehrdad Ghazvini, Jim Bennett, and Gibbes Miller, as Managing Members of CRESCENT HILLS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, and affiant acknowledged executing the foregoing instrument on behalf of the corporation pursuant to due authority therefrom. Said affiant is personally known to me or has produced sufficient identification and did take an oath or made appropriate affirmation.

WITNESS my hand and seal this 15<sup>th</sup> day of March, 2006.

Stamp or Seal:

[Signature]  
Notary Signature

\_\_\_\_\_  
Notary Printed Name



**JOINDER AND CONSENT OF MORTGAGEE**  
to the  
**Declaration Of Condominium of Crescent Hills Condominiums**

COMES NOW, TALLAHASSEE STATE BANK, by and through its undersigned officer, the mortgagee of the real property submitted to the Declaration of Condominium of Crescent Hills Condominiums, and does hereby consent to the recording of the aforesaid Declaration of Condominium and agrees to the subdivision of said real property in accordance with the aforesaid Declaration of Condominium.

**DONE AND EXECUTED** this 24<sup>th</sup> day of March, 2006.

**WITNESSES:**

Sandra Scan  
Signature  
Sandra Scanbrough  
Print Name

Deedra Appar  
Signature  
DEEDRA APPAR  
Printed Name

**MORTGAGEE:**

TALLAHASSEE STATE BANK

By: Bill Moore

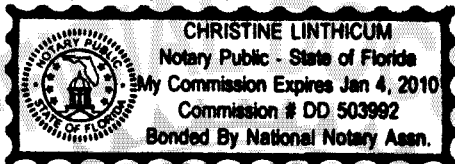
Its: Senior Vice President

STATE OF Florida  
COUNTY OF Leon

*BEFORE ME, the undersigned authority authorized to take acknowledgments in the state and county aforesaid, appeared Bill Moore, as the Sr Vice President of TALLAHASSEE STATE BANK, and he or she acknowledged that he or she executed the foregoing instrument on behalf of the company pursuant to due authority. He or she is personally known to me or has produced sufficient identification and did take an oath or made appropriate acknowledgment.*

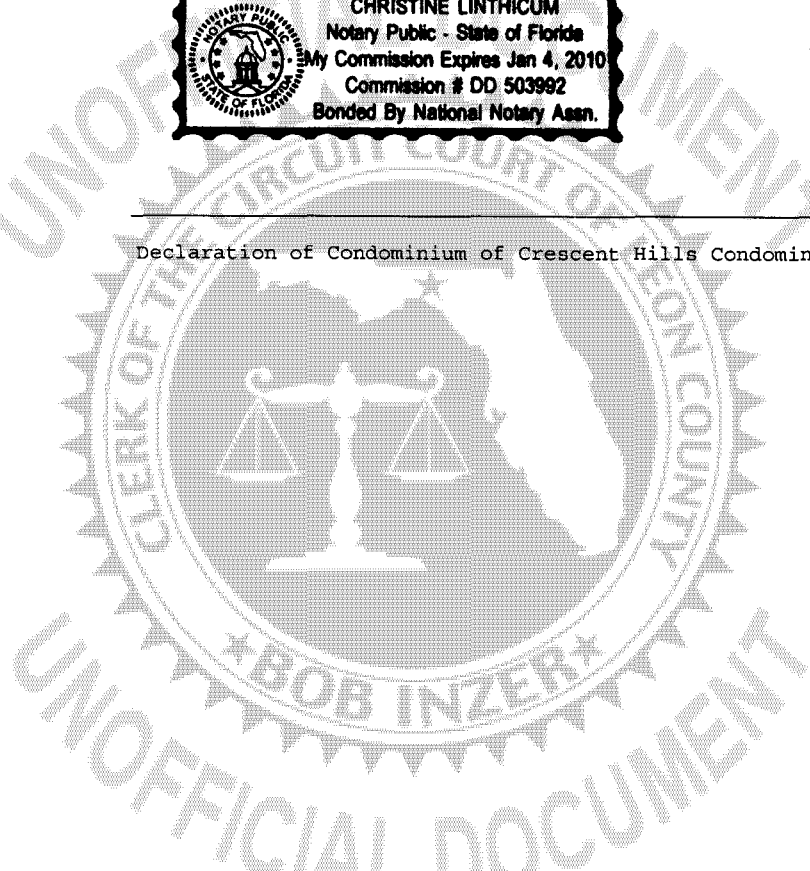
WITNESS my hand and seal this 24<sup>th</sup> day of March, 2006.

(Notary Seal)



Christine Linthicum  
Notary Signature

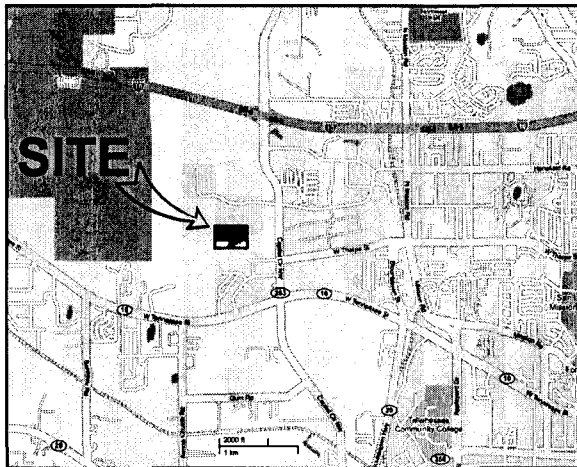
Christine Linthicum  
Notary Printed Name





# CRESCENT HILLS CONDOMINIUMS

A RESIDENTIAL CONDOMINIUM IN TALLAHASSEE, FLORIDA  
 LOCATED IN THE SW ¼ OF THE SE ¼ OF SECTION 19, T-1-N, R-1-W, LEON COUNTY, FLORIDA



SHEET	DESCRIPTION
1	COVER SHEET
2	SITE BOUNDARY MAP AND DESCRIPTION
3	OVERALL LAYOUT (SHEET KEY INDEX)
4	SITE GEOGRAPHY (INDEX 1)
5	SITE GEOGRAPHY (INDEX 2)
6	SITE GEOGRAPHY (INDEX 3)
7	SITE GEOGRAPHY (INDEX 4)
8	SITE GEOGRAPHY (INDEX 5)
9	SITE GEOGRAPHY (INDEX 6)
10	SITE GEOGRAPHY (INDEX 7)
11	SITE GEOGRAPHY (INDEX 8)
12	ACCESS, DRAINAGE & UTILITY EASEMENT
13	CONSERVATION EASEMENT MAP AND DESCRIPTION
14	UNIT DETAILS - 2, 3, & 4 UNIT COMBINATIONS
15	UNIT DETAILS - 5 & 6 UNIT COMBINATIONS
16	DETAIL - TYPICAL PARKING CONFIGURATION

### GENERAL NOTES:

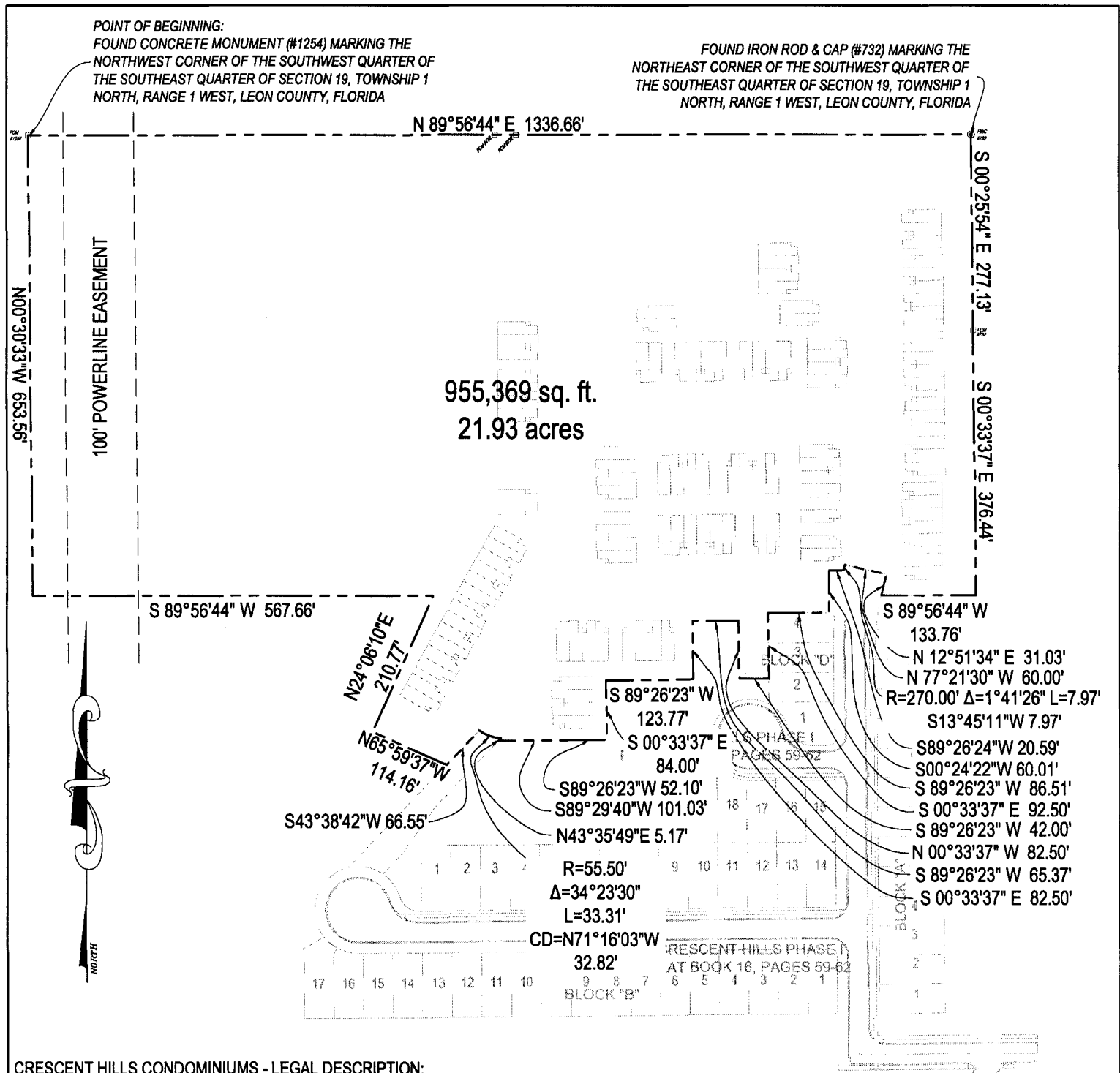
- Bearings based on State Plane Coordinates, Florida North Zone.
- All improvements shown are proposed.
- All areas outside unit boundaries (including drainage, access, and utility easements) are common areas; provided that patios, porches, and stoops are limited common areas.
- Maximum building height is approximately 30 feet; provided that it is subject to variation according to approved building plans and specs.
- Use = residential condominiums. Total units = 115.
- Approximate unit size is 1,577 square feet; provided that it is subject to variation according to approved building plans and specs.
- Garages are part of, and included within, their respective unit boundaries.
- Parking areas shown are approximated until actual parking spots are painted.
- The developer reserves the right to grant, without joinder from unit owners, specific easements according to this plot plan and to accomplish the development according to the Condominium Declaration, and to provide units with utility services, phone lines, cable, water, internet, sewer, or other services to the units or common areas. The Condominium property is subject to all such easements executed and recorded in the Public Records of Leon County, Florida.
- See post-construction condominium documents for final locations/dimensions of all improvements shown in this document.
- The Conservation Easement is to be recorded in a separate document.

<p><b>F.C.M.</b> FOUND 4"x4" CONCRETE MONUMENT  <b>R.O.W.</b> R/W - RIGHT-OF-WAY  <b>CL</b> CENTERLINE  <b>R</b> RADIUS  <b>D</b> DELTA OR CENTRAL ANGLE  <b>A</b> ARC LENGTH  <b>T</b> TANGENT DISTANCE  <b>CH</b> CHORD BEARING AND DISTANCE  <b>P.B./PG.</b> PLAT BOOK AND PAGE  <b>O.R./PG.</b> OFFICIAL RECORDS BOOK AND PAGE  <b>D.B.</b> DEED BOOK  <b>BOC</b> BACK OF CURB</p>	<p><b>F.I.P.</b> FOUND IRON PIN  <b>F.N.C.</b> FOUND NAIL IN CAP  <b>#000</b> PROFESSIONAL LAND SURVEY CERTIFICATE  <b>S.C.M.</b> SET 4"x4" CONCRETE MONUMENT LB#7245  <b>S.I.P.</b> SET IRON PIN LB#7245  <b>S.N.C.</b> SET NAIL AND 1" CAP LB#7245  <b>(P)</b> PLAT INFORMATION  <b>(D)</b> DEED INFORMATION  <b>(C)</b> CALCULATED INFORMATION  <b>(S)</b> SURVEY INFORMATION  <b>P.O.C.</b> POINT OF COMMENCEMENT  <b>P.O.B.</b> POINT OF BEGINNING</p>	<p><b>LEGEND</b></p> <p>TELEPHONE POLE          SIGNAL POLE          GUY ANCHOR          GAS METER          GAS VALVE          WATER VALVE          SANITARY SEWER FLOW ARROW</p> <p>ELEC. BOX          TEL. PED.          PP/TP          COMBINATION POLE          POWER POLE          LIGHT POLE          FIRE HYDRANT</p> <p>CURB INLET          YARD DRAIN          BASEMENT VENT          GRATE INLET          STORM MANHOLE          HOSE BID          WATER METER</p> <p>STORM FLOW ARROW          BENCHMARK          MONITORING WELL          TREE (8" OAK)</p>	<p><b>GRAPHIC SCALE</b></p> <p>0 50 100 200          1 inch = 100 ft.</p>
<p>I HEREBY CERTIFY THAT THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN AND DESCRIBED ON THE ATTACHED EXHIBITS IS NOT SUBSTANTIALLY COMPLETE, AND THAT SAID EXHIBITS TOGETHER WITH THE PROVISIONS OF THE DECLARATION OF CONDOMINIUM ESTABLISHING "THE POINTE" A CONDOMINIUM, IS AN ACCURATE REPRESENTATION OF THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS, AND THAT THE IDENTIFICATION, LOCATIONS AND DIMENSIONS OF EACH UNIT AND ITS RESPECTIVE COMMON ELEMENTS CAN BE DETERMINED FROM THESE EXHIBITS PURSUANT TO F.S. CH. 709.04 (4)(b).</p> <p>I FURTHER CERTIFY THAT THE BOUNDARY SURVEY INCLUDED HEREIN MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA (F.A.C. 61B17-3)</p> <p>LARRY D. DAVIS                  REGISTERED FLORIDA SURVEYOR NO. 5254</p>			<p>UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAN, OR MAP INFORMATION IS UNRELIABLE AND NOT VALID.</p> <p>NO. 5254                  STATE OF FLORIDA</p>
<p><b>Moore Bass Consulting</b>                  The Drawings, Specifications and other documents prepared by Moore Bass Consulting, Inc. (MB) for this Project are instruments of MB for use solely with respect to this Project and, unless otherwise provided, MB shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.</p>		<p><b>CLIENT NAME</b> CRESCENT HILLS, LLC                  2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL</p> <p><b>PROJECT NAME</b> CRESCENT HILLS CONDOMINIUMS</p>	
<p><b>MOORE BASS CONSULTING, INC.</b>                  805 N. GADSDEN STREET                  TALLAHASSEE, FL 32303 (850) 222-5678                  CERTIFICATE OF AUTHORIZATION No.00007245</p>		<p><b>FILE #</b> 03-115 297.054_CONDODOCS.dwg  <b>CONTRACT #</b> 297.054 ARCHIVE  <b>DATE</b> 07/19/05 <b>DRAWN BY</b> WCT</p>	
<p><b>MOORE BASS CONSULTING, INC.</b>                  805 N. GADSDEN STREET                  TALLAHASSEE, FL 32303 (850) 222-5678                  CERTIFICATE OF AUTHORIZATION No.00007245</p>		<p><b>SHEET TITLE</b> CONDOMINIUM SURVEY COVER SHEET</p> <p style="text-align: right;">1</p>	

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**CRESCENT HILLS CONDOMINIUMS - LEGAL DESCRIPTION:**

BEGIN at found concrete monument (#1254) marking the Northwest corner of the Southwest Quarter of the Southeast Quarter of Section 19, Township 1 North, Range 1 West, Leon County, Florida. Thence run North 89°56'44" East 1,336.66 feet to a found iron rod marking the Northeast corner of the Southwest Quarter of the Southeast Quarter of said Section 19; thence South 00°25'54" East 277.13 feet; thence South 00°33'37" East 376.44 feet to the Northeast corner of Crescent Hills - Phase I, a subdivision as per Plat Book 16, Pages 59-62, Leon County, Florida; thence along the North boundary line of said subdivision the following 22 courses to wit: South 89°56'44" West 133.76 feet; North 12°51'34" East 31.03 feet; North 77°21'30" West 60.00 feet to a point on a curve concave Northwesterly; thence Southwesterly along said curve with a radius of 270.00 feet, through a central angle of 01°41'26", for an arc distance of 7.97 feet (the chord of said arc being South 13°45'11" West 7.97 feet); South 89°26'24" West 20.59 feet; South 00°24'22" West 60.01 feet; South 89°26'23" West 86.51 feet; South 00°33'37" East 92.50 feet; South 89°26'23" West 42.00 feet; North 00°33'37" West 82.50 feet; South 89°26'23" West 65.37 feet; South 00°33'37" East 82.50 feet; South 89°26'23" West 123.77 feet; South 00°33'37" East 84.00 feet; South 89°26'23" West 52.10 feet; South 89°29'40" West 101.03 feet; North 43°35'49" East 5.17 feet to a point on a non tangential curve concave Northeasterly, thence westerly along said curve having a radius of 55.50 feet through a central angle of 34°23'30" for an arc distance of 33.31 feet (the chord of said arc being North 71°16'03" West 32.82 feet), South 43°38'42" West 66.55 feet; North 65°59'37" West 114.16 feet; North 24°06'10" East 210.77 feet; South 89°56'44" West 567.66 feet; thence departing said North boundary line North 00°30'33" West 653.56 feet to the POINT OF BEGINNING, containing 21.93 acres, more or less.

F.C.M.	FOUND 4"x4" CONCRETE MONUMENT	F.I.P.	FOUND IRON PIN
R.O.W.	R/W - RIGHT-OF-WAY	F.N.C.	FOUND NAIL IN CAP
CL	CENTERLINE	F.L.S.C.	PROFESSIONAL LAND SURVEY CERTIFICATE
R	RADIUS	S.C.M.	SET 4"x4" CONCRETE MONUMENT LB#7245
D	DELTA OR CENTRAL ANGLE	SIP	SET 1" IRON PIN LB#7245
A	ARC LENGTH	S.N.C.	SET NAIL AND 1" CAP LB#7245
T	TANGENT DISTANCE	(P)	PLAT INFORMATION
CH	CHORD BEARING AND DISTANCE	(D)	DEED INFORMATION
P.B./PG.	PLAT BOOK AND PAGE	(C)	CALCULATED INFORMATION
O.R./PG.	OFFICIAL RECORDS BOOK AND PAGE	(S)	SURVEY INFORMATION
D.B.	DEED BOOK	P.O.C.	POINT OF COMMENCEMENT
BOC	BACK OF CURB	P.O.B.	POINT OF BEGINNING

	TELEPHONE POLE		ELECTRIC BOX
	SIGNAL POLE		TELEPHONE PEDESTAL
	GUY ANCHOR		COMBINATION POLE
	GAS METER		POWER POLE
	GAS VALVE		LIGHT POLE
	WATER VALVE		FIRE HYDRANT
	SANITARY SEWER FLOW ARROW		SANITARY SEWER MANHOLE

	CURB INLET		STORM FLOW ARROW
	YARD DRAIN		BENCHMARK
	BASEMENT VENT		MONITORING WELL
	GRATE INLET		TREE (8" OAK)
	STORM MANHOLE		
	HOSE BID		
	WATER METER		

**LEGEND**

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**GRAPHIC SCALE**

0 100 200 400

FILE #	03-115	297.054_CONDODOCS.dwg
CONTRACT #	297.054	ARCHIVE
DATE	07/19/05	DRAWN BY WCT

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<b>SEAL</b>
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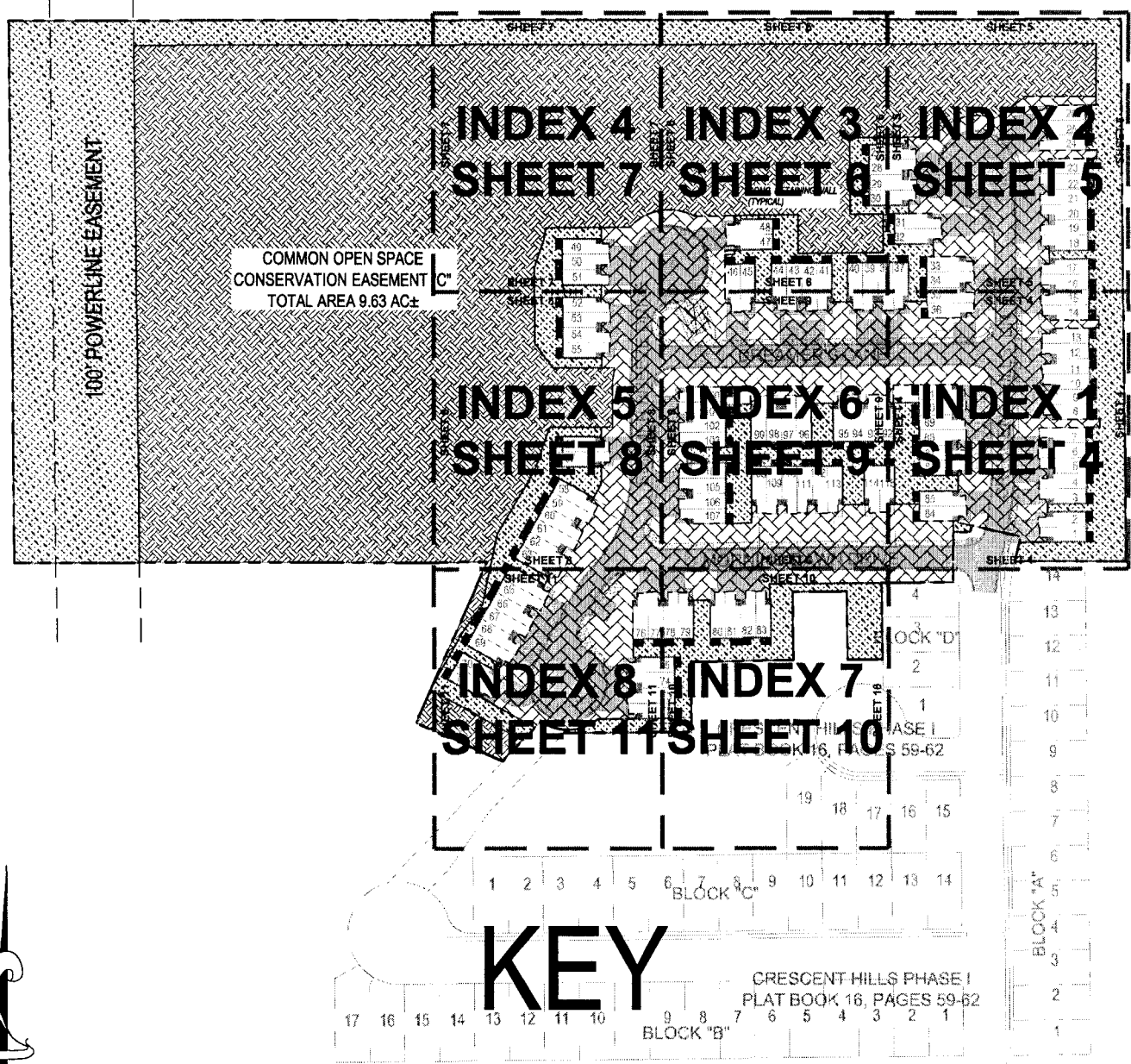
<b>SHEET TITLE</b>	CONDOMINIUM SURVEY SITE BOUNDARY	2
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 DENOTES COMMON OPEN SPACE



F.C.M. FOUND 4"x4" CONCRETE MONUMENT R.O.W. R/W - RIGHT-OF-WAY C.L. CENTERLINE R. RADIUS D. DELTA OR CENTRAL ANGLE A. ARC LENGTH T. TANGENT DISTANCE CH. CHORD BEARING AND DISTANCE P.B./PG. PLAT BOOK AND PAGE O.R./PG. OFFICIAL RECORDS BOOK AND PAGE D.B. DEED BOOK BOC. BACK OF CURB	F.I.P. FOUND IRON PIN F.N.C. FOUND NAIL IN CAP P.L.S.C. PROFESSIONAL LAND SURVEY CERTIFICATE S.C.M. SET 4"x4" CONCRETE MONUMENT LB#7245 S.I.P. SET 1" IRON PIN LB#7245 S.N.C. SET NAIL AND 1" CAP LB#7245 (P) PLAT INFORMATION (D) DEED INFORMATION (C) CALCULATED INFORMATION (S) SURVEY INFORMATION P.O.C. POINT OF COMMENCEMENT P.O.B. POINT OF BEGINNING	<b>LEGEND</b> TELEPHONE POLE SIGNAL POLE GUY ANCHOR GAS METER GAS VALVE WATER VALVE SANITARY SEWER FLOW ARROW	ELEC. BOX ELECTRIC BOX TEL. PED. TELEPHONE PEDESTAL P.P.T.P. COMBINATION POLE P.P. POWER POLE L.P. LIGHT POLE F.H. FIRE HYDRANT S.S.M. SANITARY SEWER MANHOLE	CURB INLET YARD DRAIN BASEMENT VENT GRATE INLET STORM MANHOLE HOSE BID WATER METER STORM FLOW ARROW BENCHMARK MONITORING WELL TREE (9" OAK)
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**CLIENT NAME**  
 CRESCENT HILLS, LLC  
 2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL

**PROJECT NAME**  
 CRESCENT HILLS CONDOMINIUMS

<b>GRAPHIC SCALE</b>	
FILE #	03-115 297.054_CONDODOCS.dwg
CONTRACT #	297.054 ARCHIVE
DATE	07/19/05 DRAWN BY WCT
SHEET TITLE	CONDOMINIUM SURVEY OVERALL SITE LAYOUT (SHEET KEY INDEX)
	3

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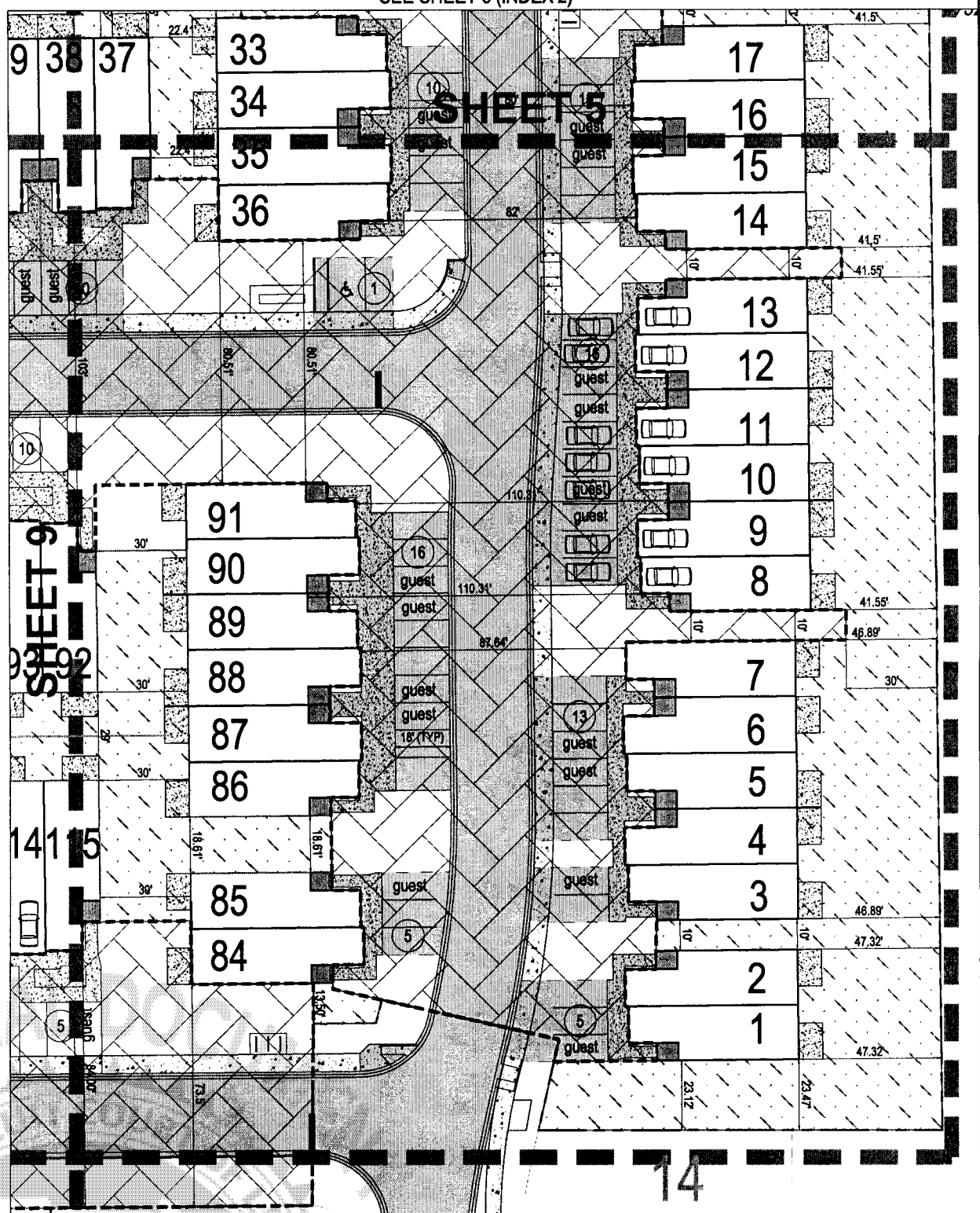
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   DENOTES COMMON OPEN SPACE

**KEY**  
 INDEX 4 SHEET 7    INDEX 3 SHEET 8    INDEX 2 SHEET 9  
 INDEX 8 SHEET 8    INDEX 6 SHEET 9  
 INDEX 8 SHEET 11    INDEX 7 SHEET 10

DENOTES PAVEMENT

SEE SHEET 5 (INDEX 2)



SEE SHEET 9 (INDEX 6)

<p><b>F.C.M.</b> FOUND 4"x4" CONCRETE MONUMENT  <b>R.O.W.</b> R/W - RIGHT-OF-WAY  <b>CL</b> CENTERLINE  <b>R</b> RADIUS  <b>D</b> DELTA OR CENTRAL ANGLE  <b>A</b> ARC LENGTH  <b>T</b> TANGENT DISTANCE  <b>CH</b> CHORD BEARING AND DISTANCE  <b>P.B./PG.</b> PLAT BOOK AND PAGE  <b>O.R./PG.</b> OFFICIAL RECORDS BOOK AND PAGE  <b>D.B.</b> DEED BOOK  <b>BOC</b> BACK OF CURB</p>	<p><b>F.I.P.</b> FOUND IRON PIN  <b>F.N.C.</b> FOUND NAIL IN CAP  <b>#000</b> PROFESSIONAL LAND SURVEY CERTIFICATE  <b>S.C.M.</b> SET 4"x4" CONCRETE MONUMENT LB#7245  <b>SIP</b> SET 1" IRON PIN LB#7245  <b>S.N.C.</b> SET NAIL AND 1" CAP LB#7245  <b>(P)</b> PLAT INFORMATION  <b>(D)</b> DEED INFORMATION  <b>(C)</b> CALCULATED INFORMATION  <b>(S)</b> SURVEY INFORMATION  <b>P.O.C.</b> POINT OF COMMENCEMENT  <b>P.O.B.</b> POINT OF BEGINNING</p>	<p><b>LEGEND</b></p> <p> <span style="border: 1px solid black; padding: 1px;">TEL</span> TELEPHONE POLE  <span style="border: 1px solid black; padding: 1px;">PP/TP</span> SIGNAL POLE  <span style="border: 1px solid black; padding: 1px;">GUY</span> GUY ANCHOR  <span style="border: 1px solid black; padding: 1px;">GAS</span> GAS METER  <span style="border: 1px solid black; padding: 1px;">GAS</span> GAS VALVE  <span style="border: 1px solid black; padding: 1px;">WATER</span> WATER VALVE  <span style="border: 1px solid black; padding: 1px;">SS</span> SANITARY SEWER FLOW ARROW  <span style="border: 1px solid black; padding: 1px;">ELEC</span> ELECTRIC BOX  <span style="border: 1px solid black; padding: 1px;">TEL PED</span> TELEPHONE PEDESTAL  <span style="border: 1px solid black; padding: 1px;">COMB</span> COMBINATION POLE  <span style="border: 1px solid black; padding: 1px;">POWER</span> POWER POLE  <span style="border: 1px solid black; padding: 1px;">LIGHT</span> LIGHT POLE  <span style="border: 1px solid black; padding: 1px;">FIRE</span> FIRE HYDRANT  <span style="border: 1px solid black; padding: 1px;">CURB</span> CURB INLET  <span style="border: 1px solid black; padding: 1px;">YARD</span> YARD DRAIN BASEMENT VENT  <span style="border: 1px solid black; padding: 1px;">GRATE</span> GRATE INLET  <span style="border: 1px solid black; padding: 1px;">STORM</span> STORM MANHOLE  <span style="border: 1px solid black; padding: 1px;">HOSE</span> HOSE BID  <span style="border: 1px solid black; padding: 1px;">WATER</span> WATER METER  <span style="border: 1px solid black; padding: 1px;">STORM</span> STORM FLOW ARROW  <span style="border: 1px solid black; padding: 1px;">BENCH</span> BENCHMARK  <span style="border: 1px solid black; padding: 1px;">MONIT</span> MONITORING WELL  <span style="border: 1px solid black; padding: 1px;">TREE</span> TREE (9" OAK)                 </p>
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**GRAPHIC SCALE**

0      25      50      100

FILE #	03-115	297.054_CONDODOCS.dwg
CONTRACT #	297.054	ARCHIVE
DATE	07/19/05	DRAWN BY
SHEET TITLE	CONDOMINIUM SURVEY SITE GEOMETRY (INDEX SHEET 1)	

MOORE BASS CONSULTING, INC. 805 N. GADSDEN STREET TALLAHASSEE, FL. 32303 (850) 222-5678 CERTIFICATE OF AUTHORIZATION No.00007245	CLIENT NAME CRESCENT HILLS, LLC 2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL	PROJECT NAME CRESCENT HILLS CONDOMINIUMS	SHEET TITLE CONDOMINIUM SURVEY SITE GEOMETRY (INDEX SHEET 1)
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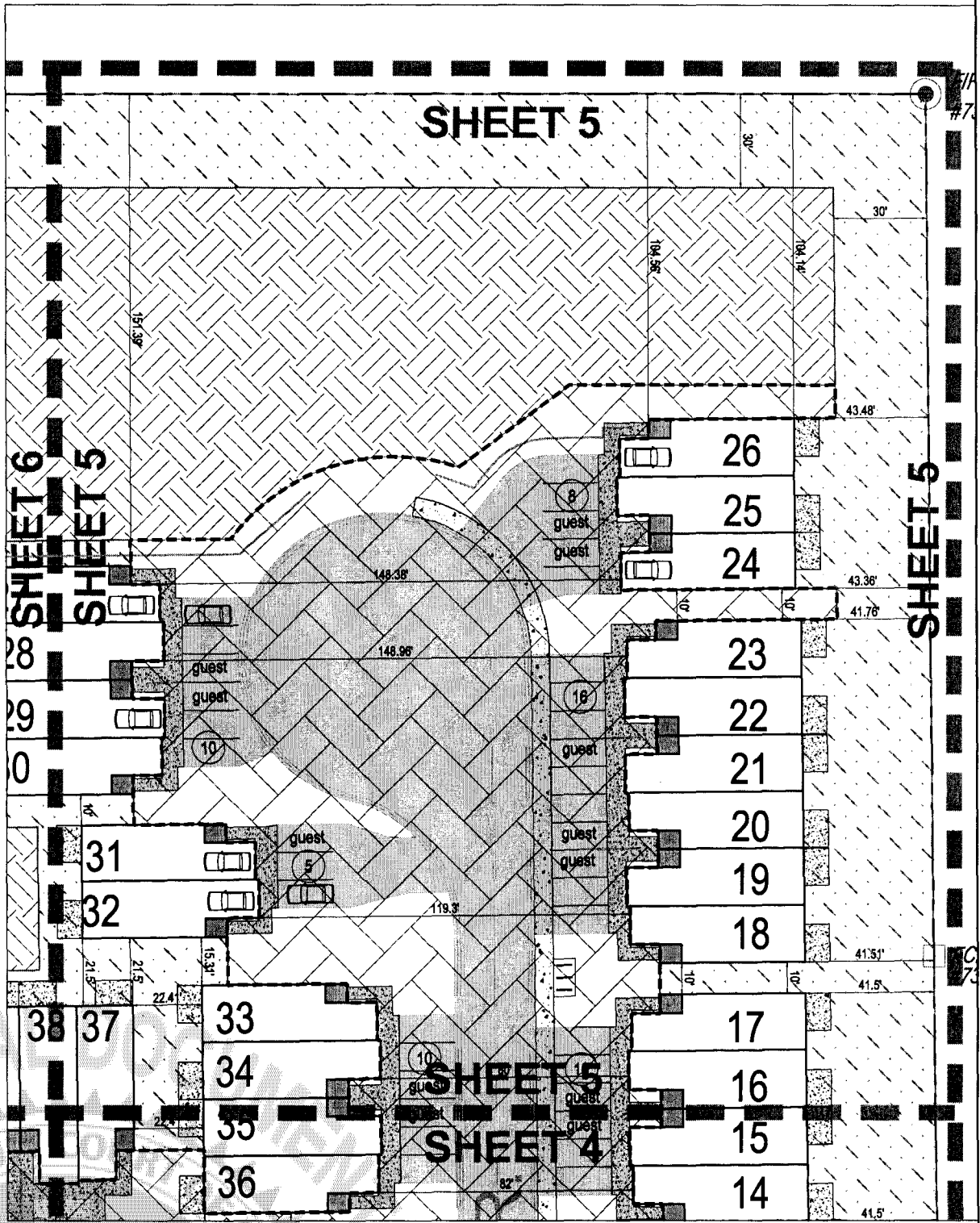
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DENOTES PAVEMENT

**KEY**

INDEX 4 SHEET 7	INDEX 3 SHEET 8
INDEX 5 SHEET 6	INDEX 1 SHEET 4
INDEX 6 SHEET 11	INDEX 7 SHEET 10



F.C.M. FOUND 4"x4" CONCRETE MONUMENT R.O.W. RIGHT-OF-WAY CL CENTERLINE R RADIUS D DELTA OR CENTRAL ANGLE A ARC LENGTH T TANGENT DISTANCE CH CHORD BEARING AND DISTANCE P.B./PG. PLAT BOOK AND PAGE O.R./PG. OFFICIAL RECORDS BOOK AND PAGE D.B. DEED BOOK BOC BACK OF CURB	F.I.P. FOUND IRON PIN F.N.C. FOUND NAIL IN CAP #000 PROFESSIONAL LAND SURVEY CERTIFICATE S.C.M. SET 4"x4" CONCRETE MONUMENT LB#7245 S.I.P. SET 1" IRON PIN LB#7245 S.N.C. SET NAIL AND 1" CAP LB#7245 (P) PLAT INFORMATION (D) DEED INFORMATION (C) CALCULATED INFORMATION (S) SURVEY INFORMATION P.O.C. POINT OF COMMENCEMENT P.O.B. POINT OF BEGINNING	<b>LEGEND</b> TELEPHONE POLE SIGNAL POLE GUY ANCHOR GAS METER GAS VALVE WATER VALVE SANITARY SEWER FLOW ARROW ELEC. BOX TEL. PED. P/PTP COMBINATION POLE POWER POLE LIGHT POLE FIRE HYDRANT SANITARY SEWER MANHOLE	CURB INLET YARD DRAIN BASEMENT VENT GRATE INLET STORM MANHOLE HOSE BID WATER METER STORM FLOW ARROW BENCHMARK MONITORING WELL 9" OAK TREE (9" OAK)
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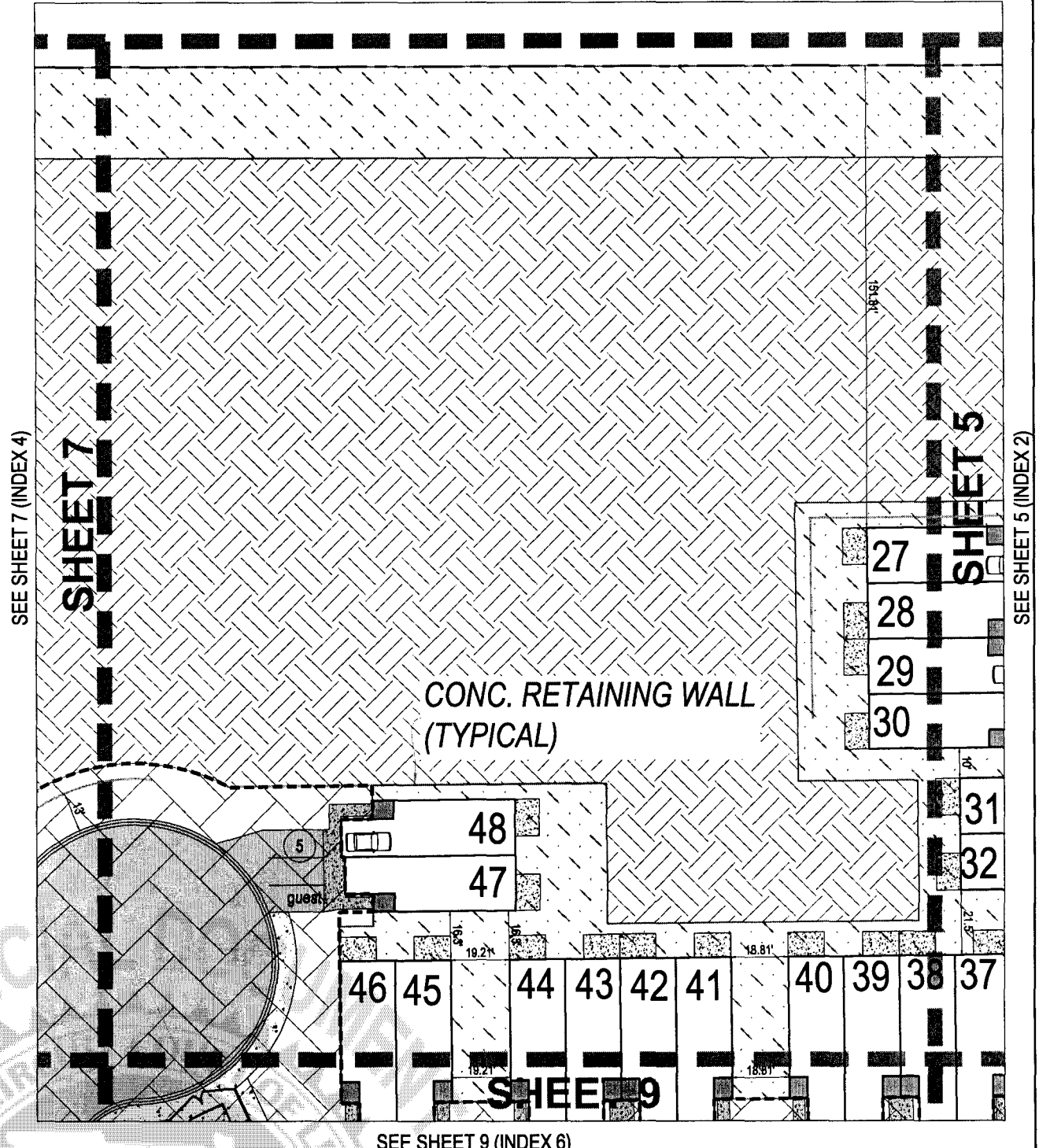
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**KEY**

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DENOTES PAVEMENT			

INDEX 4 SHEET 7    INDEX 2 SHEET 6  
INDEX 6 SHEET 8    INDEX 8 SHEET 9    INDEX 1 SHEET 4  
INDEX 8 SHEET 11    INDEX 7 SHEET 10



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SEAL

**GRAPHIC SCALE**

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CONTRACT #	297.054	ARCHIVE
DATE	07/19/05	DRAWN BY      WCT

<p><b>MOORE BASS CONSULTING, INC.</b> 805 N. GADSDEN STREET TALLAHASSEE, FL 32303 (850) 222-5678 CERTIFICATE OF AUTHORIZATION No.00007245</p>	<p><b>CLIENT NAME</b> CRESCENT HILLS, LLC 2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL</p>	<p><b>PROJECT NAME</b> CRESCENT HILLS CONDOMINIUMS</p>	<p><b>SHEET TITLE</b> CONDOMINIUM SURVEY SITE GEOGRAPHY (INDEX SHEET 3)</p> <p style="text-align: right;">6</p>
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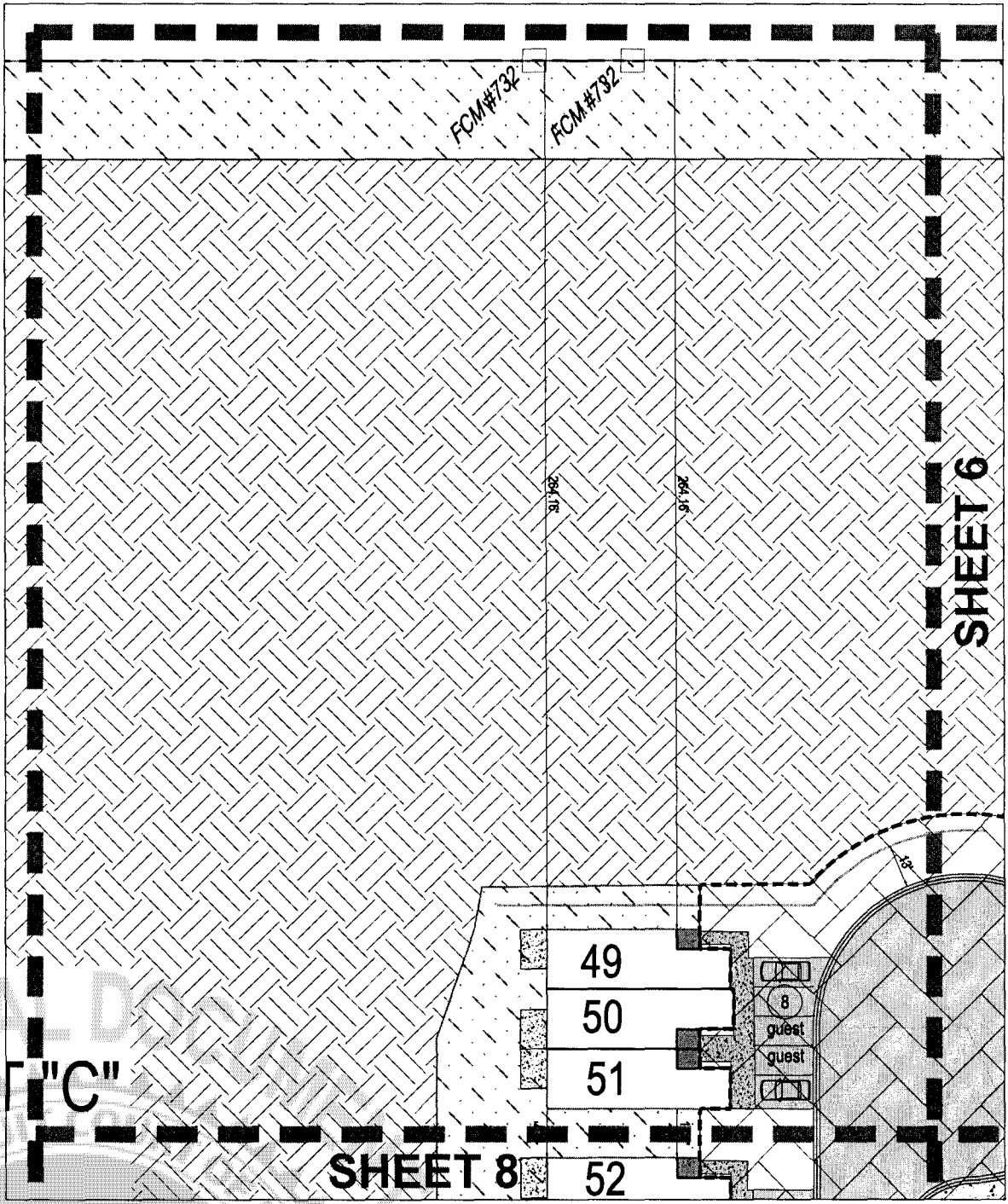
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**KEY**

DENOTES ACCESS, DRAINAGE & UTILITY EASEMENT	DENOTES COMMON OPEN SPACE CONSERVATION EASEMENT	DENOTES PORCH DESIGNATED AS LIMITED COMMON ELEMENTS	DENOTES COMMON OPEN SPACE
DENOTES PAVEMENT			

INDEX 3 SHEET 6	INDEX 2 SHEET 5
INDEX 6 SHEET 8	INDEX 9 SHEET 4
INDEX 8 SHEET 11	INDEX 7 SHEET 10



SEE SHEET 6 (INDEX 3)

F.C.M.	FOUND 4"x4" CONCRETE MONUMENT
R.O.W.	R/W - RIGHT-OF-WAY
CL	CENTERLINE
R	RADIUS
D	DELTA OR CENTRAL ANGLE
A	ARC LENGTH
T	TANGENT DISTANCE
CH	CHORD BEARING AND DISTANCE
P.B./PG.	PLAT BOOK AND PAGE
O.R./PG.	OFFICIAL RECORDS BOOK AND PAGE
D.B.	DEED BOOK
BOC	BACK OF CURB

F.I.P.	FOUND IRON PIN
F.N.C.	FOUND NAIL IN CAP
9000	PROFESSIONAL LAND SURVEY CERTIFICATE
S.C.M.	SET 4"x4" CONCRETE MONUMENT LB#7245
SIP	SET 1/2" IRON PIN LB#7245
S.N.C.	SET NAIL AND 1" CAP LB#7245
(P)	PLAT INFORMATION
(D)	DEED INFORMATION
(C)	CALCULATED INFORMATION
(S)	SURVEY INFORMATION
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING

**LEGEND**

	ELEC. BOX		CURB INLET
	TELEPHONE PEDESTAL		YARD DRAIN
	SIGNAL POLE		BASEMENT VENT
	GUY ANCHOR		MONITORING WELL
	GAS METER		GRATE INLET
	GAS VALVE		STORM MANHOLE
	WATER VALVE		HOSE BID
	SANITARY SEWER FLOW ARROW		WATER METER
	ELECTRIC BOX		9" OAK TREE (9" OAK)
	SANITARY SEWER MANHOLE		

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805 N. GADSDEN STREET  
TALLAHASSEE, FL 32303 (850) 222-5678  
CERTIFICATE OF AUTHORIZATION No.00007245

CLIENT NAME  
**CRESCENT HILLS, LLC**  
2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL

PROJECT NAME  
**CRESCENT HILLS CONDOMINIUMS**

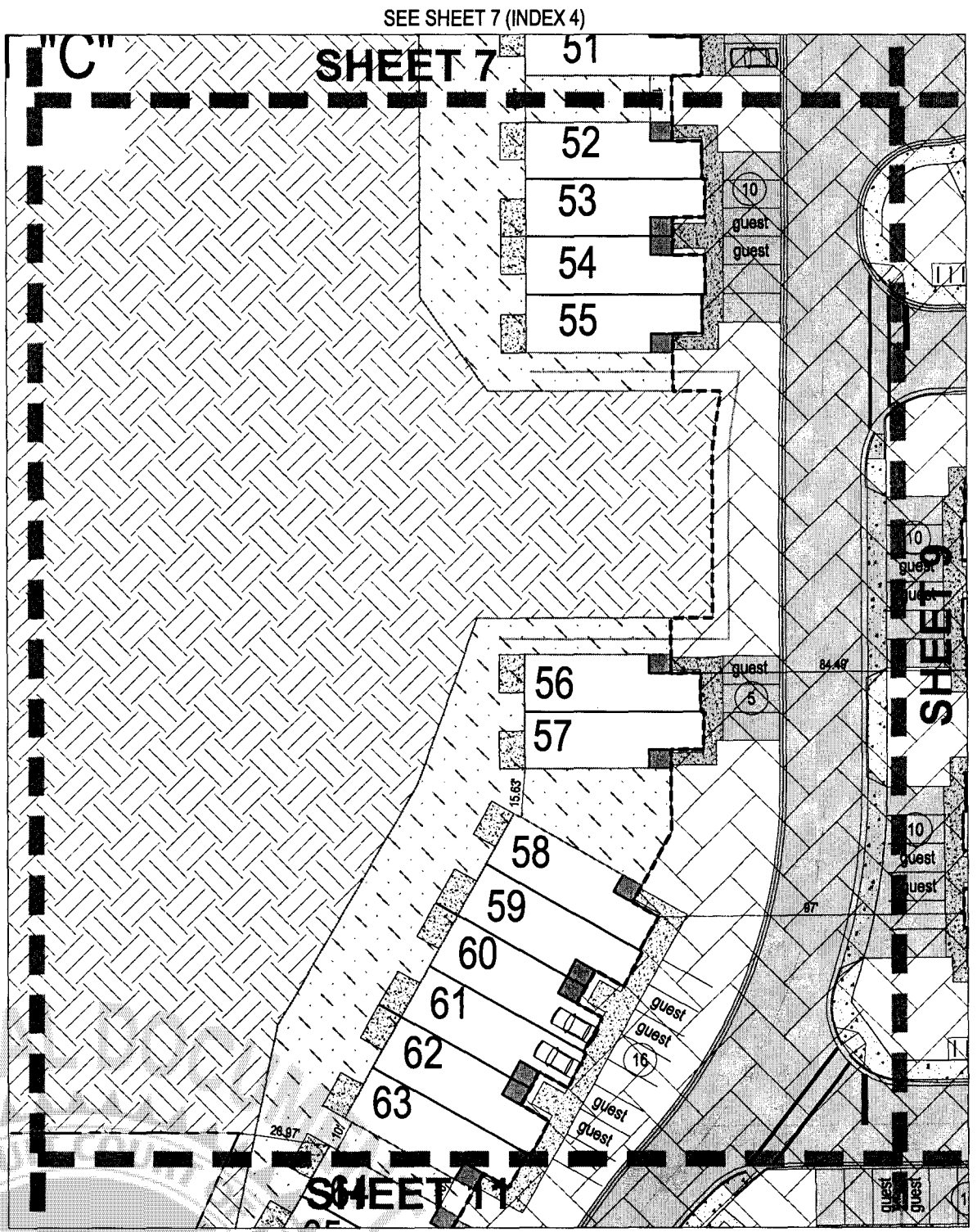
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FILE #	03-115 297.054_CONDODOCS.dwg
CONTRACT #	297.054 ARCHIVE
DATE	07/19/05 DRAWN BY WCT
SHEET TITLE	CONDOMINIUM SURVEY SITE GEOMETRY (INDEX SHEET 4)
	7

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DENOTES ACCESS, DRAINAGE & UTILITY EASEMENT	DENOTES COMMON OPEN SPACE CONSERVATION EASEMENT	DENOTES PORCH DESIGNATED AS LIMITED COMMON ELEMENTS	DENOTES COMMON OPEN SPACE									
<table border="0" style="width: 100%; font-size: 8px;"> <tr> <td style="width: 33%; border: 1px solid black; padding: 1px;">INDEX 4 SHEET 7</td> <td style="width: 33%; border: 1px solid black; padding: 1px;">INDEX 9 SHEET 8</td> <td style="width: 33%; border: 1px solid black; padding: 1px;">INDEX 2 SHEET 6</td> </tr> <tr> <td style="border: 1px solid black; padding: 1px;">INDEX 8 SHEET 9</td> <td style="border: 1px solid black; padding: 1px;">INDEX 1 SHEET 4</td> <td></td> </tr> <tr> <td style="border: 1px solid black; padding: 1px;">INDEX 6 SHEET 11</td> <td style="border: 1px solid black; padding: 1px;">INDEX 7 SHEET 10</td> <td></td> </tr> </table>	INDEX 4 SHEET 7	INDEX 9 SHEET 8	INDEX 2 SHEET 6	INDEX 8 SHEET 9	INDEX 1 SHEET 4		INDEX 6 SHEET 11	INDEX 7 SHEET 10		DENOTES PAVEMENT		
INDEX 4 SHEET 7	INDEX 9 SHEET 8	INDEX 2 SHEET 6										
INDEX 8 SHEET 9	INDEX 1 SHEET 4											
INDEX 6 SHEET 11	INDEX 7 SHEET 10											

KEY



F.C.M. FOUND 4"x4" CONCRETE MONUMENT R.O.W. R/W - RIGHT-OF-WAY CL. CENTERLINE R. RADIUS D. DELTA OR CENTRAL ANGLE A. ARC LENGTH T. TANGENT DISTANCE CH. CHORD BEARING AND DISTANCE P.B./P.G. PLAT BOOK AND PAGE O.R./P.G. OFFICIAL RECORDS BOOK AND PAGE D.B. DEED BOOK BOC. BACK OF CURB	F.I.P. FOUND IRON PIN F.N.C. FOUND NAIL IN CAP #000 PROFESSIONAL LAND SURVEY CERTIFICATE S.C.M. SET 4"x4" CONCRETE MONUMENT LB#7245 S.I.P. SET 1/2" IRON PIN LB#7245 S.N.C. SET NAIL AND 1" CAP LB#7245 (P) PLAT INFORMATION (D) DEED INFORMATION (C) CALCULATED INFORMATION (S) SURVEY INFORMATION P.O.C. POINT OF COMMENCEMENT P.O.B. POINT OF BEGINNING	<b>LEGEND</b> TELEPHONE POLE SIGNAL POLE GUY ANCHOR GAS METER GAS VALVE WATER VALVE SANITARY SEWER FLOW ARROW ELEC. BOX TEL. PED. PPT/P COMBINATION POLE POWER POLE LIGHT POLE FIRE HYDRANT SANITARY SEWER MANHOLE	CURB INLET YARD DRAIN BASEMENT VENT GRATE INLET STORM MANHOLE HOSE BID WATER METER STORM FLOW ARROW BENCHMARK MONITORING WELL * 9" OAK TREE (9" OAK)
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UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT, OR MAP IS FOR INFORMATION PURPOSES ONLY AND IS NOT VALID.

SEAL

**GRAPHIC SCALE**

FILE #	03-115	297.054_CONDODOCS.dwg
CONTRACT #	297.054	ARCHIVE
DATE	07/19/05	DRAWN BY WCT

MOORE BASS CONSULTING, INC. 805 N. GADSDEN STREET TALLAHASSEE, FL 32303 (850) 222-5678 CERTIFICATE OF AUTHORIZATION No.00007245	CLIENT NAME CRESCENT HILLS, LLC 2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL	PROJECT NAME CRESCENT HILLS CONDOMINIUMS	SHEET TITLE CONDOMINIUM SURVEY SITE GEOGRAPHY (INDEX SHEET 5)	8
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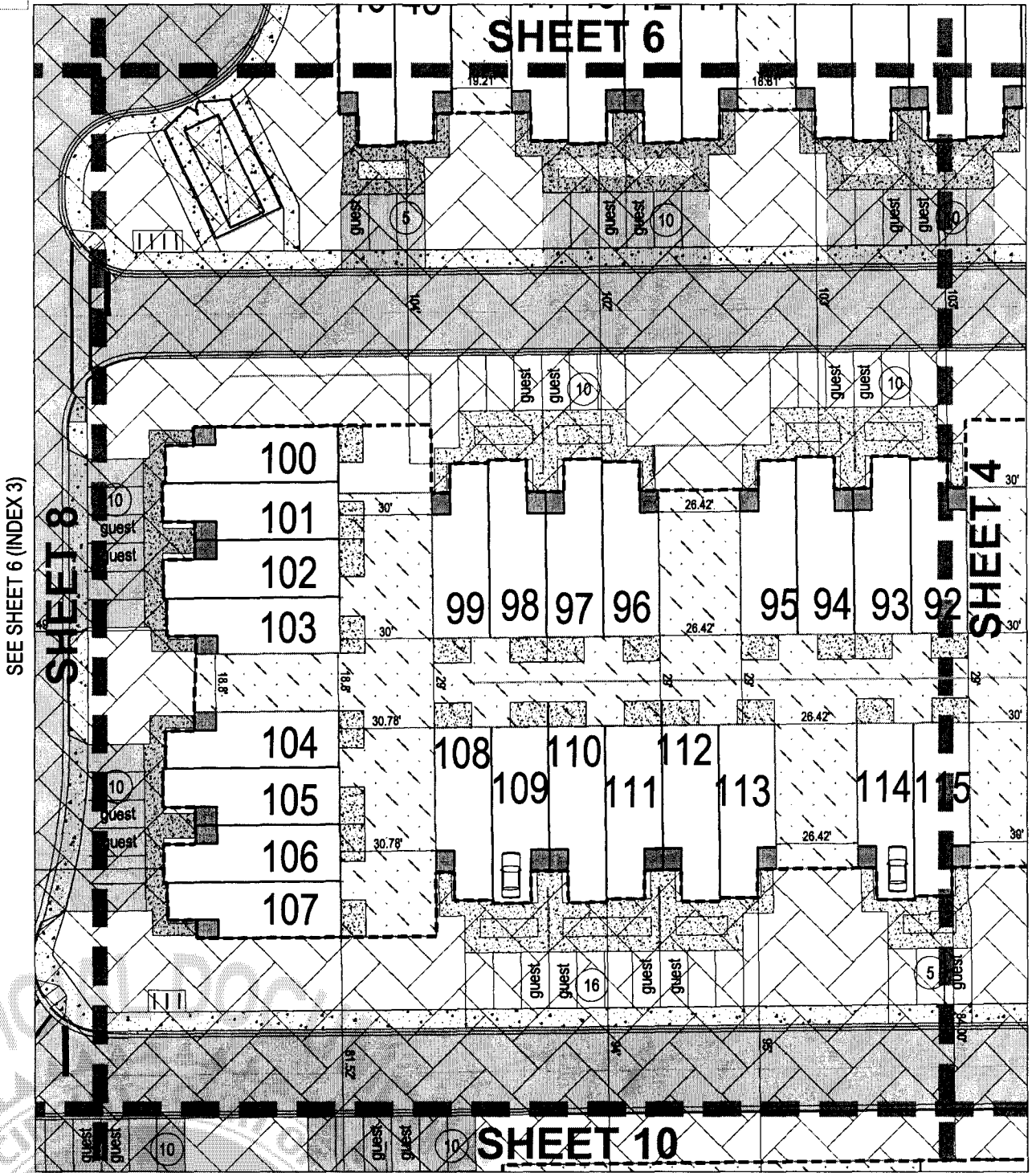
  DENOTES ACCESS, DRAINAGE & UTILITY EASEMENT    
   DENOTES COMMON OPEN SPACE CONSERVATION EASEMENT    
   DENOTES PORCH DESIGNATED AS LIMITED COMMON ELEMENTS    
   DENOTES COMMON OPEN SPACE

INDEX 4 SHEET 7    INDEX 3 SHEET 6    INDEX 2 SHEET 5  
 INDEX 8 SHEET 9    INDEX 1 SHEET 4  
 INDEX 6 SHEET 11    INDEX 7 SHEET 10

DENOTES PAVEMENT

KEY

SEE SHEET 6 (INDEX 3)



SEE SHEET 10 (INDEX 7)

F.C.M. FOUND 4"x4" CONCRETE MONUMENT R.O.W. R/W - RIGHT-OF-WAY CL. CENTERLINE R. RADIUS D. DELTA OR CENTRAL ANGLE A. ARC LENGTH T. TANGENT DISTANCE CH. CHORD BEARING AND DISTANCE P.B./PG. PLAT BOOK AND PAGE O.R./PG. OFFICIAL RECORDS BOOK AND PAGE D.B. DEED BOOK BOC. BACK OF CURB	F.I.P. FOUND IRON PIN F.N.C. FOUND NAIL IN CAP P.L.S.C. PROFESSIONAL LAND SURVEY CERTIFICATE S.C.M. SET 4"x4" CONCRETE MONUMENT LB#7245 S.I.P. SET 1" IRON PIN LB#7245 S.N.C. SET NAIL AND 1" CAP LB#7245 (P) PLAT INFORMATION (D) DEED INFORMATION (C) CALCULATED INFORMATION (S) SURVEY INFORMATION (S) OFFICIAL RECORDS BOOK AND PAGE P.O.C. POINT OF COMMENCEMENT P.O.B. POINT OF BEGINNING	<b>LEGEND</b> TELEPHONE POLE SIGNAL POLE GUY ANCHOR GAS METER GAS VALVE WATER VALVE SANITARY SEWER FLOW ARROW	ELEC. BOX ELECTRIC BOX TEL. PED. TELEPHONE PEDESTAL COMBINATION POLE POWER POLE LIGHT POLE FIRE HYDRANT SANITARY SEWER MANHOLE	CURB INLET YARD DRAIN BASEMENT VENT GRATE INLET STORM MANHOLE HOSE BID WATER METER STORM FLOW ARROW BENCHMARK MONITORING WELL TREE (8" OAK)
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**CLIENT NAME**  
 CRESCENT HILLS, LLC  
 2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL

**PROJECT NAME**  
 CRESCENT HILLS CONDOMINIUMS

<b>GRAPHIC SCALE</b>	
FILE #	03-115 297.054_CONDODOCS.dwg
CONTRACT #	297.054 ARCHIVE
DATE	07/19/05 DRAWN BY WCT
SHEET TITLE	CONDOMINIUM SURVEY SITE GEOMETRY (INDEX SHEET 6)
	9

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 805 N. GADSDEN STREET  
 TALLAHASSEE, FL. 32303 (850) 222-5878  
 CERTIFICATE OF AUTHORIZATION No.00007245

CLIENT NAME: CRESCENT HILLS, LLC  
 PROJECT NAME: CRESCENT HILLS CONDOMINIUMS

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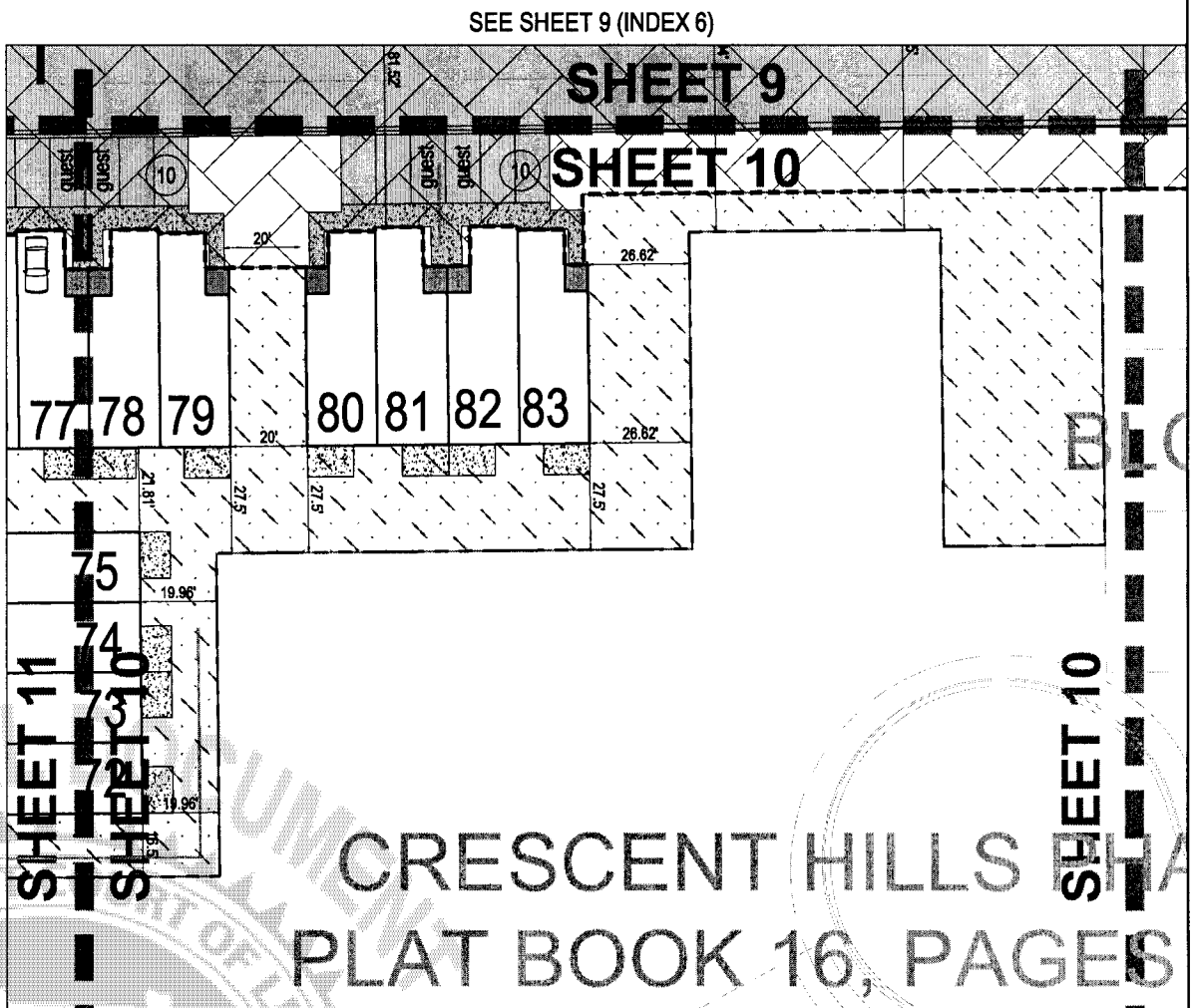
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 SHEET NUMBER: 9

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DENOTES ACCESS, DRAINAGE & UTILITY EASEMENT	DENOTES COMMON OPEN SPACE CONSERVATION EASEMENT	DENOTES PORCH DESIGNATED AS LIMITED COMMON ELEMENTS	DENOTES COMMON OPEN SPACE
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P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING

**LEGEND**

	TELEPHONE POLE
	SIGNAL POLE
	GUY ANCHOR
	GAS METER
	GAS VALVE
	WATER VALVE
	SANITARY SEWER FLOW ARROW

	ELECTRIC BOX
	TELEPHONE PEDESTAL
	COMBINATION POLE
	POWER POLE
	LIGHT POLE
	FIRE HYDRANT

	CURB INLET
	YARD DRAIN
	BASEMENT VENT
	GRATE INLET
	STORM MANHOLE
	HOSE BID
	WATER METER
	STORM FLOW ARROW
	BENCHMARK
	MONITORING WELL
	TREE (9" OAK)

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<b>GRAPHIC SCALE</b>	
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<b>SHEET TITLE</b>	CONDOMINIUM SURVEY SITE GEOMETRY (INDEX SHEET 7)	10
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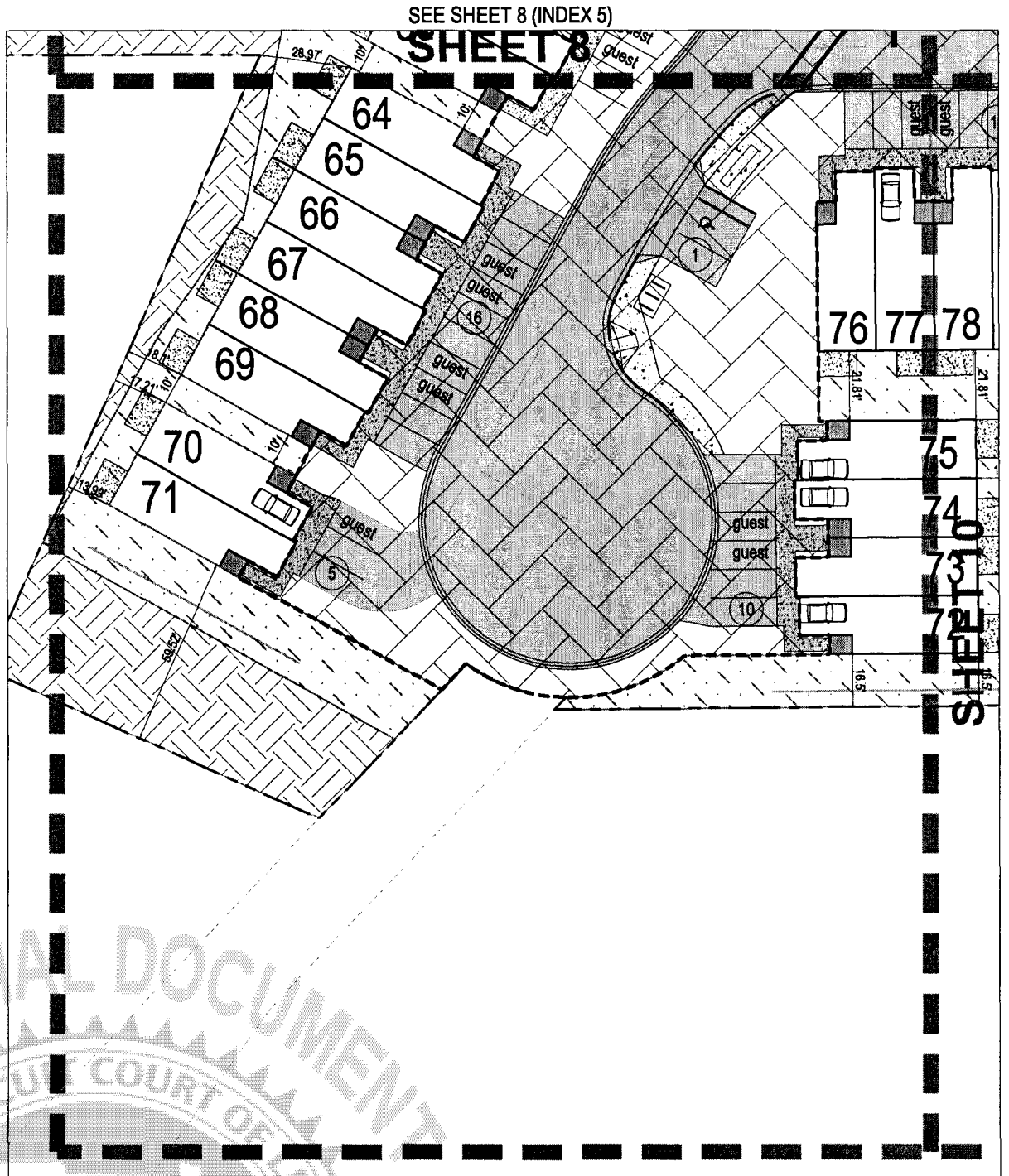


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**LEGEND**

	TELEPHONE POLE		ELECTRIC BOX		CURB INLET		STORM FLOW ARROW
	SIGNAL POLE		TELEPHONE PEDESTAL		YARD DRAIN		BENCHMARK
	GUY ANCHOR		COMBINATION POLE		BASEMENT VENT		MONITORING WELL
	GAS METER		POWER POLE		GRATE INLET		STORM MANHOLE
	GAS VALVE		LIGHT POLE		HOSE BID		WATER METER
	WATER VALVE		FIRE HYDRANT		SANITARY SEWER MANHOLE		TREE (9" OAK)
	SANITARY SEWER FLOW ARROW						

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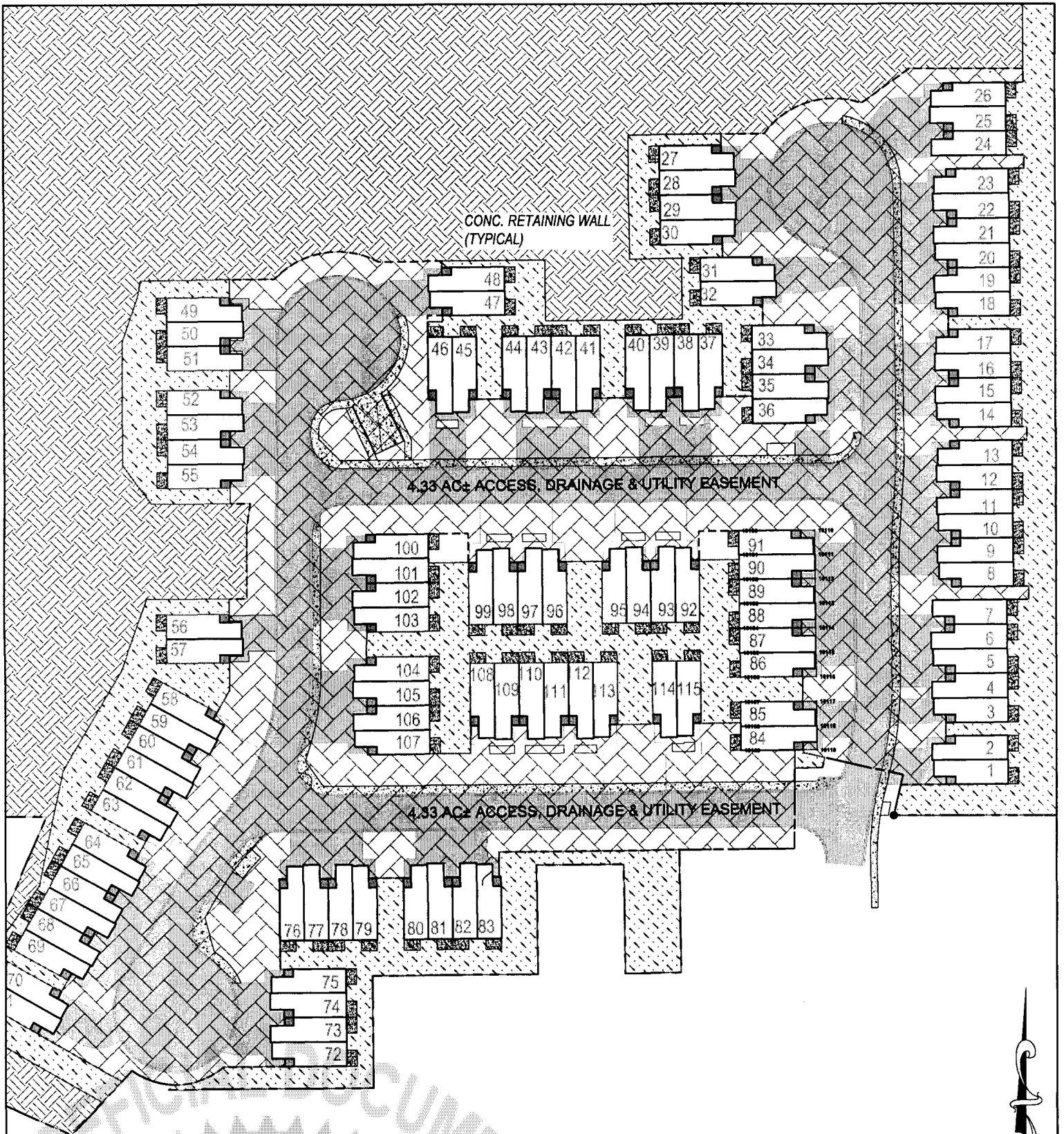
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<b>GRAPHIC SCALE</b>	
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THE 4.33 AC± ACCESS, UTILITY AND DRAINAGE EASEMENT (ADU EASEMENT) DEPICTED HEREON IS BOUNDED BY THE FOLLOWING:

1. THE FRONT AND/OR SIDE OF A BUILDING WALL AND A PROJECTION THEREOF;
2. THE PERIMETER BOUNDARY OF THE CONDOMINIUM, EXCEPT WHEN TO A LINE 30 FEET FROM AND PARALLEL WITH THE EASTERNMOST PERIMETER BOUNDARY; AND
3. THE CONSERVATION EASEMENT.

F.C.M.	FOUND 4"x4" CONCRETE MONUMENT	F.I.P.	FOUND IRON PIN
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	SIGNAL POLE		TELEPHONE PEDESTAL
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	GAS METER		POWER POLE
	GAS VALVE		LIGHT POLE
	WATER VALVE		FIRE HYDRANT
	SANITARY SEWER FLOW ARROW		SANITARY SEWER MANHOLE

	CURB INLET		STORM FLOW ARROW
	YARD DRAIN		BENCHMARK
	BASEMENT VENT		MONITORING WELL
	GRATE INLET		TREE (9" OAK)
	STORM MANHOLE		
	HOSE BID		
	WATER METER		

**LEGEND**

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**GRAPHIC SCALE**

0 50 100 200

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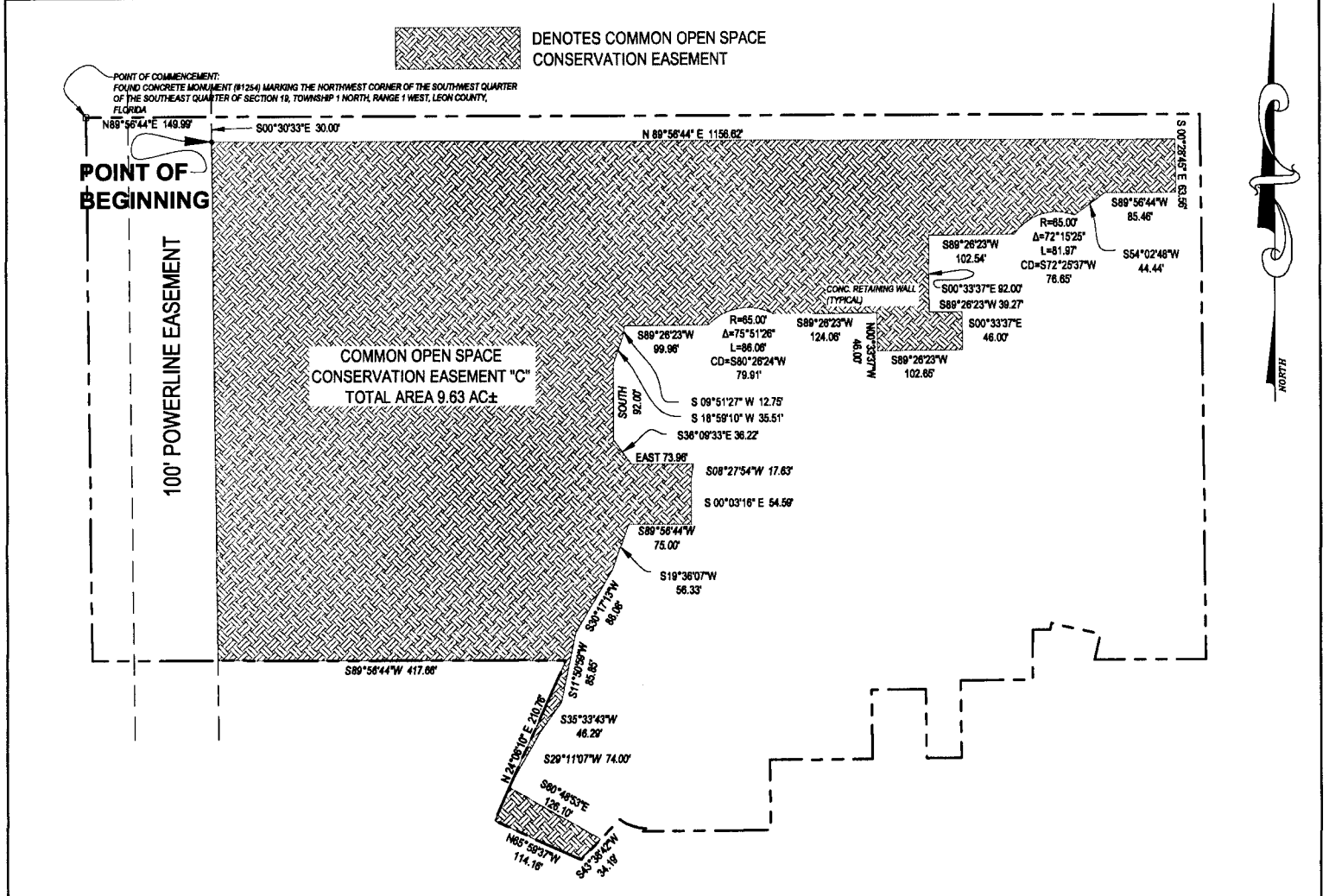
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SHEET TITLE CONDOMINIUM SURVEY 3.99 AC± ACCESS, DRAINAGE & UTILITY EASEMENT 12

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COMMENCE at a concrete monument (LB#1254) marking the northwest corner of the Southwest Quarter of the Southeast Quarter of Section 19, Township 1 North, Range 1 West, Leon County, Florida, and run North 89°56'44" East along the north boundary of said Southwest Quarter of the Southeast Quarter 149.99' to the east boundary of a 100' powerline easement; thence run South 00°30'33" East along said east boundary 30.00' to the POINT OF BEGINNING; thence run North 89°56'44" East a distance of 1,156.62'; thence run South 00°28'45" East a distance of 63.56'; thence run South 89°56'44" West a distance of 85.46'; thence run South 54°02'48" West a distance of 44.44' to a point on a non tangent curve to the left, thence run westerly along said curve with a radius of 65.00' through a central angle of 72°15'25" for an arc distance of 81.97' (the chord of said arc being South 72°25'37" West 76.65'); thence run South 89°26'23" West a distance of 102.54'; thence run South 00°33'37" East a distance of 92.00'; thence run North 89°26'23" East a distance of 39.27'; thence run South 00°33'37" East a distance of 46.00'; thence run South 89°26'23" West a distance of 102.65'; thence run North 00°33'37" West a distance of 46.00'; thence run South 89°26'23" West a distance of 124.06' to a point on a non tangent curve to the left, thence run westerly along said curve with a radius of 65.00' through a central angle of 75°51'26" for an arc distance of 86.06' (the chord of said arc being South 80°26'23" West 79.91'); thence run South 89°26'23" West a distance of 99.96'; thence run South 09°51'27" West a distance of 12.75'; thence run South 18°59'10" West a distance of 35.51'; thence run South a distance of 92.00'; thence run South 36°09'33" East a distance of 36.22'; thence run East a distance of 73.96'; thence run South 08°27'54" West a distance of 17.63'; thence run South 00°03'16" East a distance of 54.59'; thence run South 89°56'44" West a distance of 75.00'; thence run South 19°36'07" West a distance of 56.33'; thence run South 30°17'13" West a distance of 88.08'; thence run South 11°50'59" West a distance of 85.85'; thence run South 35°33'43" West a distance of 46.29'; thence run South 29°11'07" West a distance of 74.00'; thence run South 60°48'53" East a distance of 126.10'; thence run South 43°38'42" West a distance of 34.19'; thence run North 65°59'37" West a distance of 114.16'; thence run North 24°06'10" East a distance of 210.76'; thence run South 89°56'44" West a distance of 417.66'; thence run North 00°30'33" West a distance of 623.56' to the POINT OF BEGINNING; containing 9.63 acres, more or less.

F.C.M. FOUND 4"x4" CONCRETE MONUMENT	F.I.P. FOUND IRON PIN	<b>LEGEND</b>	ELEC. BOX ELECTRIC BOX	CURB INLET	STORM FLOW ARROW
R.O.W. RIGHT-OF-WAY	F.N.C. FOUND NAIL IN CAP	TELEPHONE POLE	TEL PED TELEPHONE PEDESTAL	YARD DRAIN BASEMENT VENT	BENCHMARK
CL CENTERLINE	P.F.C. PROFESSIONAL LAND SURVEY CERTIFICATE	SIGNAL POLE	PP/TP COMBINATION POLE	GRATE INLET	MONITORING WELL
R RADIUS	S.C.M. SET 4"x4" CONCRETE MONUMENT LB#7245	GUY ANCHOR	POWER POLE	STORM MANHOLE	TREE (8" OAK)
D DELTA OR CENTRAL ANGLE	S.I.P. SET 1" IRON PIN LB#7245	GAS METER	LIGHT POLE	HOSE BID	
A ARC LENGTH	S.N.C. SET NAIL AND 1" CAP LB#7245	GAS VALVE	FIRE HYDRANT	WATER METER	
T TANGENT DISTANCE	(P) PLAT INFORMATION	WATER VALVE			
CH CHORD BEARING AND DISTANCE	(D) DEED INFORMATION	SANITARY SEWER FLOW ARROW			
P.B./P.C. PLAT BOOK AND PAGE	(C) CALCULATED INFORMATION				
O.R./P.G. OFFICIAL RECORDS BOOK AND PAGE	(S) SURVEY INFORMATION				
D.B. DEED BOOK	P.O.C. POINT OF COMMENCEMENT				
BOC BACK OF CURB	P.O.B. POINT OF BEGINNING				

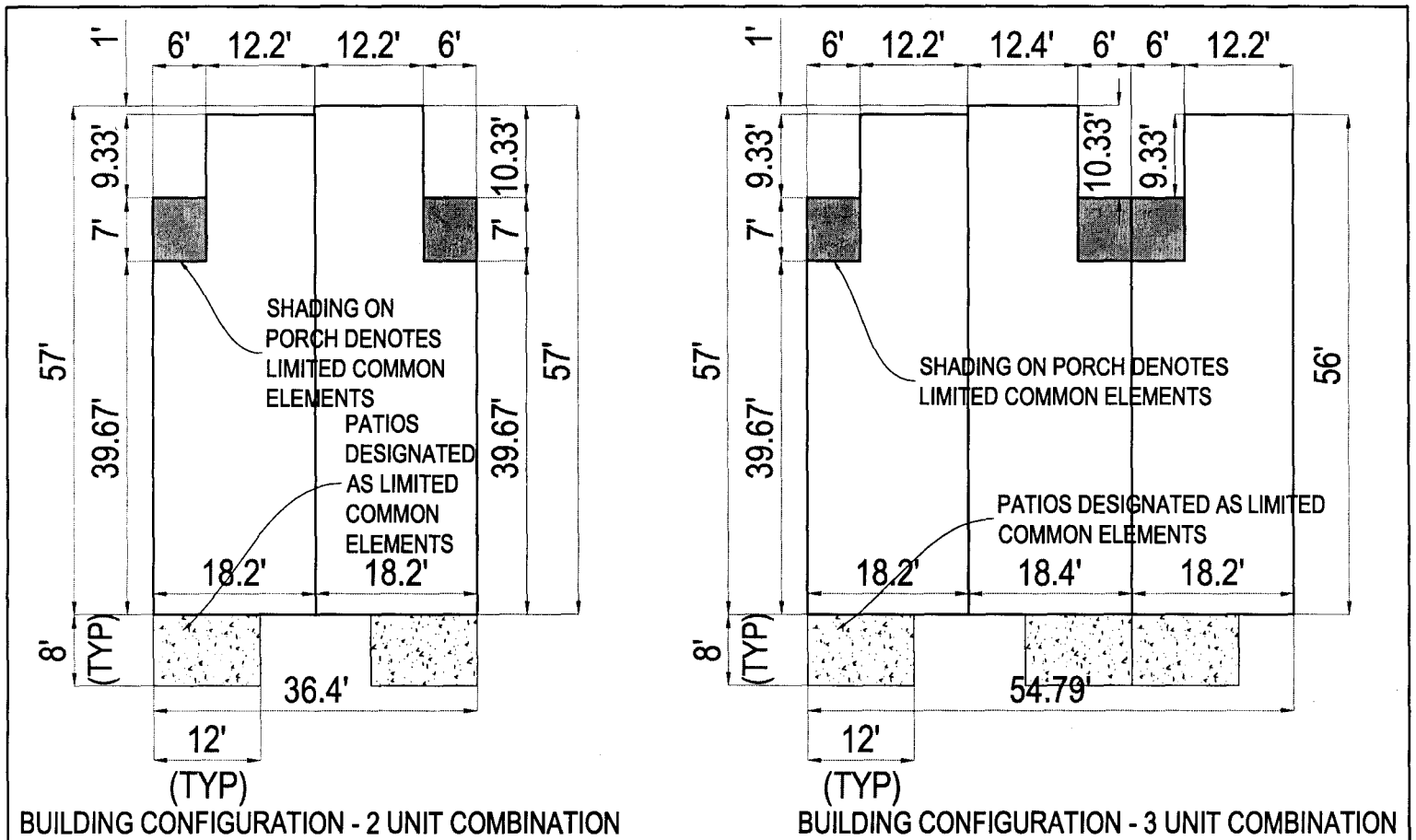
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SEAL

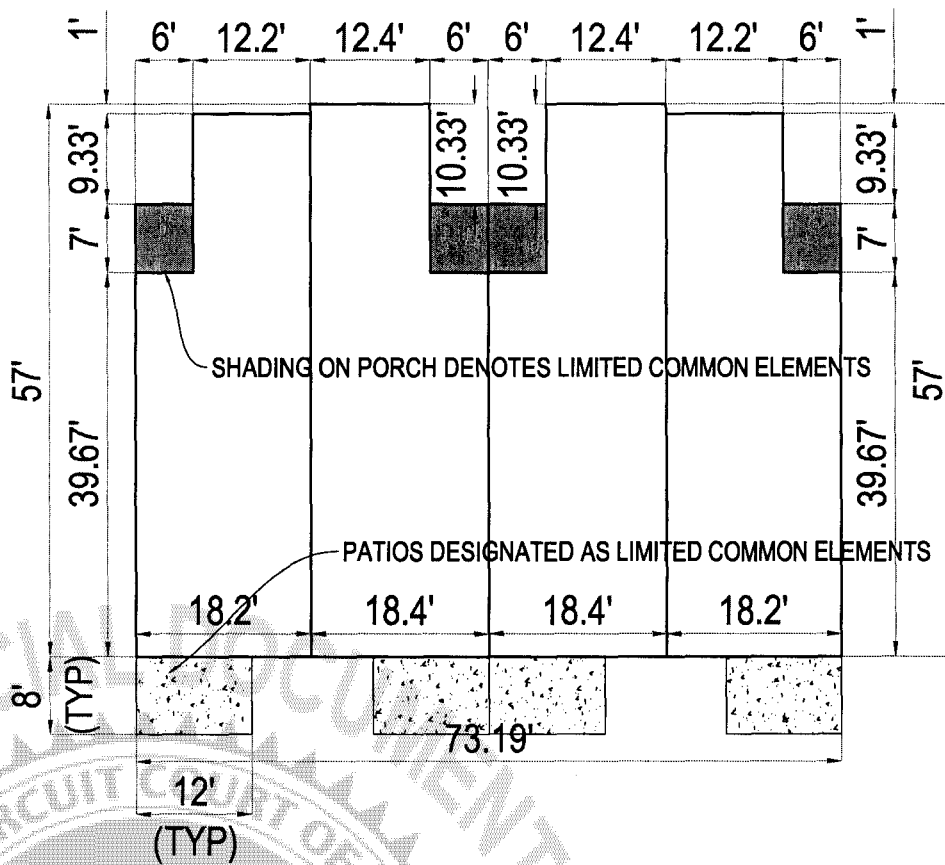
<b>GRAPHIC SCALE</b>	
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FILE #	03-115 297.054_CONDODOCS.dwg
CONTRACT #	297.054 ARCHIVE
DATE	07/19/05 DRAWN BY WCT

MOORE BASS CONSULTING, INC. 805 N. GADSDEN STREET TALLAHASSEE, FL. 32303 (850) 222-5678 CERTIFICATE OF AUTHORIZATION No.00007245	CLIENT NAME CRESCENT HILLS, LLC 2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL	PROJECT NAME CRESCENT HILLS CONDOMINIUMS	SHEET TITLE CONDOMINIUM SURVEY CONSERVATION EASEMENT (COMMON OPEN SPACE)	14
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BUILDING CONFIGURATION - 2 UNIT COMBINATION

BUILDING CONFIGURATION - 3 UNIT COMBINATION



BUILDING CONFIGURATION - 4 UNIT COMBINATION

F.C.M.	FOUND 4" CONCRETE MONUMENT
R.O.W.	R/W - RIGHT-OF-WAY
CL	CENTERLINE
R	RADIUS
D	DELTA OR CENTRAL ANGLE
A	ARC LENGTH
T	TANGENT DISTANCE
CH	CHORD BEARING AND DISTANCE
P.B./PG.	PLAT BOOK AND PAGE
O.R./PG.	OFFICIAL RECORDS BOOK AND PAGE
D.B.	DEED BOOK
BOC	BACK OF CURB

F.I.P.	FOUND IRON PIN
F.N.C.	FOUND NAIL IN CAP
#000	PROFESSIONAL LAND SURVEY CERTIFICATE
S.C.M.	SET 4" CONCRETE MONUMENT LB#7245
SIP	SET 1/2" IRON PIN LB#7245
S.N.C.	SET NAIL AND 1" CAP LB#7245
(P)	PLAT INFORMATION
(D)	DEED INFORMATION
(C)	CALCULATED INFORMATION
(S)	SURVEY INFORMATION
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING

**LEGEND**

	TELEPHONE POLE		ELEC. BOX		STORM FLOW ARROW
	TEL. PED.		YARD DRAIN		BENCHMARK
	SIGNAL POLE		BASEMENT VENT		MONITORING WELL
	GUY ANCHOR		GRATE INLET		9" OAK TREE (8" OAK)
	GAS METER		STORM MANHOLE		
	GAS VALVE		HOSE BID		
	WATER VALVE		WATER METER		
	FIRE HYDRANT				
	SANITARY SEWER FLOW ARROW		SANITARY SEWER MANHOLE		

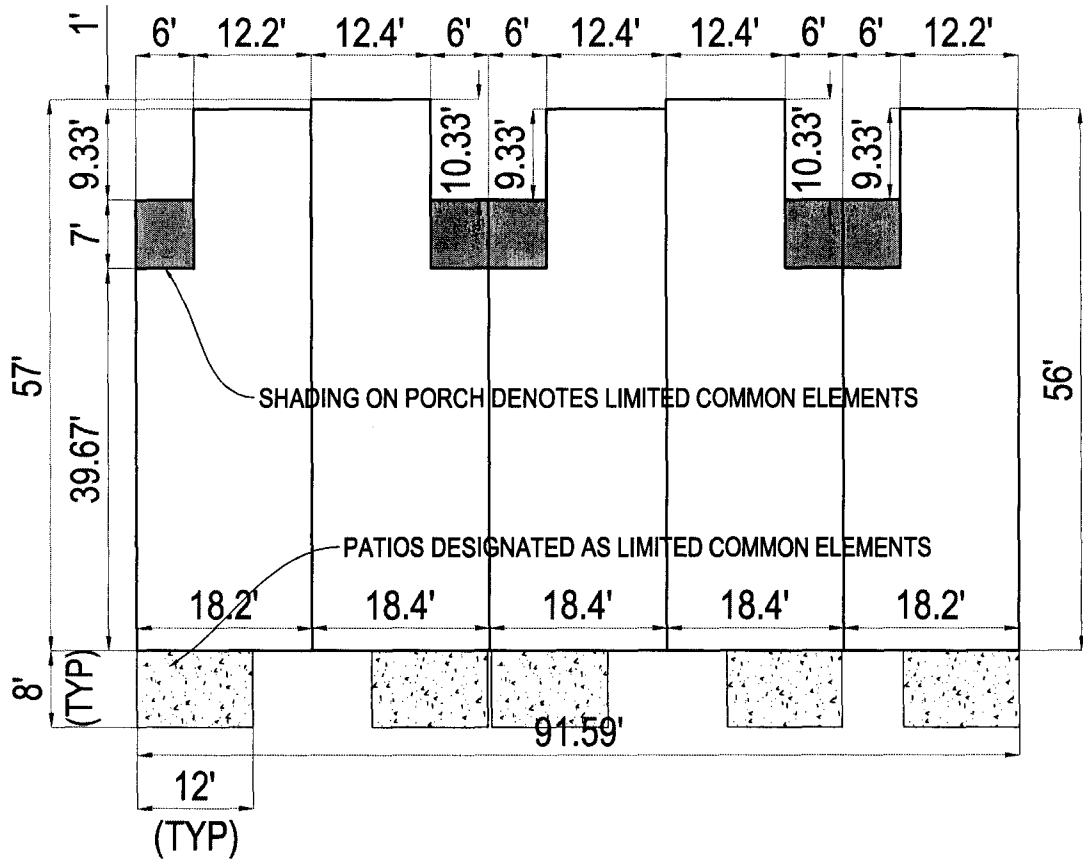
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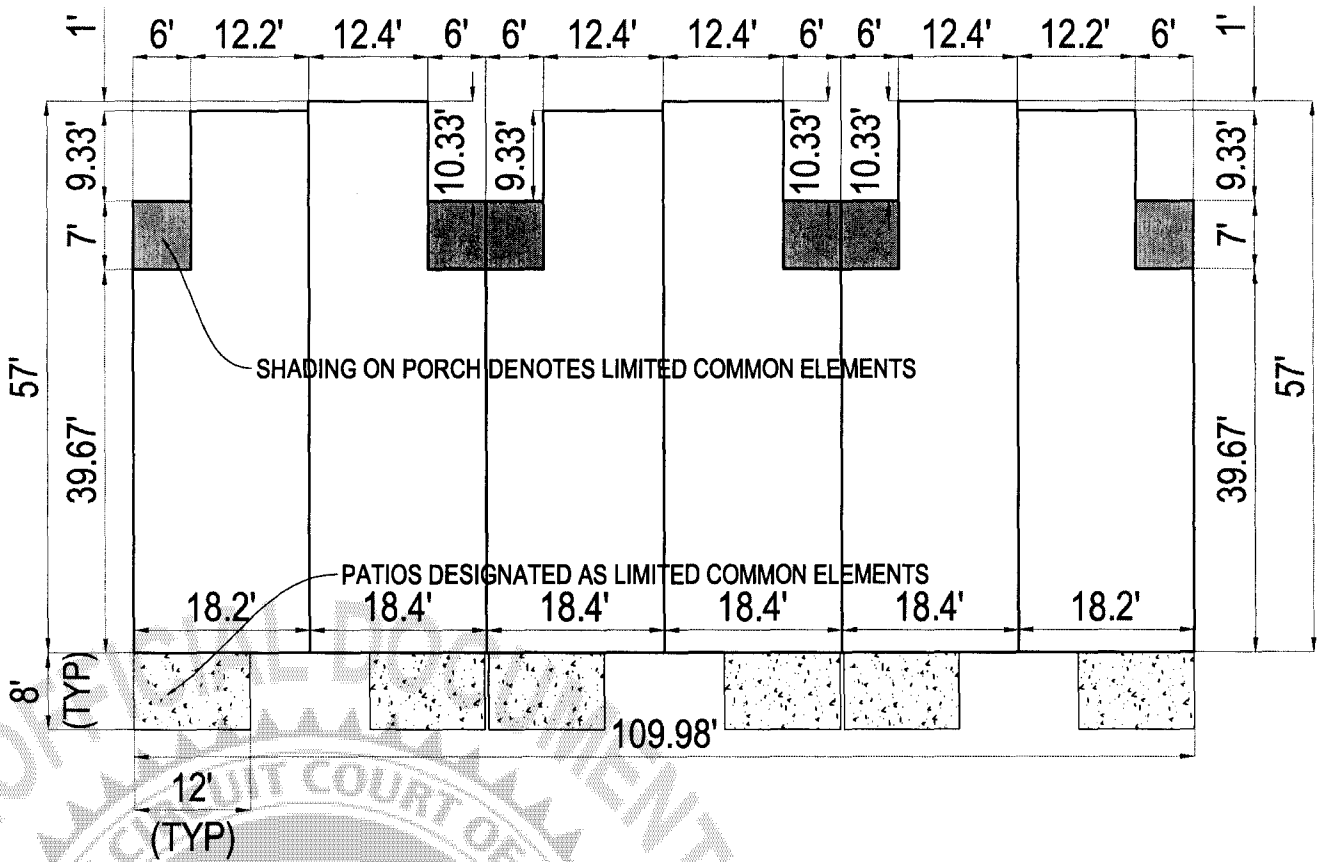
SEAL

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BUILDING CONFIGURATION - 5 UNIT COMBINATION



BUILDING CONFIGURATION - 6 UNIT COMBINATION

F.C.M. FOUND 4" CONCRETE MONUMENT	F.I.P. FOUND IRON PIN	ELEC. BOX ELECTRIC BOX	CURB INLET	STORM FLOW ARROW
R.O.W. R/W - RIGHT-OF-WAY	F.N.C. FOUND NAIL IN CAP	TEL PED TELEPHONE PEDESTAL	YARD DRAIN	BENCHMARK
CL CENTERLINE	#000 PROFESSIONAL LAND SURVEY CERTIFICATE	SIGNAL POLE	BASEMENT VENT	MONITORING WELL
R RADIUS	SET 4"x4" CONCRETE MONUMENT LB#7245	GUY ANCHOR	GRATE INLET	STORM MANHOLE
D DELTA OR CENTRAL ANGLE	SIP SET 1/2" IRON PIN LB#7245	GAS METER	STORM MANHOLE	HOSE BID
A ARC LENGTH	S.N.C. SET NAIL AND 1" CAP LB#7245	GAS VALVE	WATER METER	WATER METER
T TANGENT DISTANCE	(P) PLAT INFORMATION	WATER VALVE	WATER METER	WATER METER
CH CHORD BEARING AND DISTANCE	(D) DEED INFORMATION	SANITARY SEWER FLOW ARROW	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
P.B./PG. PLAT BOOK AND PAGE	(C) CALCULATED INFORMATION			
O.R./PG. OFFICIAL RECORDS BOOK AND PAGE	(S) SURVEY INFORMATION			
D.B. DEED BOOK	P.O.C. POINT OF COMMENCEMENT			
BOC BACK OF CURB	P.O.B. POINT OF BEGINNING			

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CLIENT NAME: CRESCENT HILLS, LLC  
2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL

PROJECT NAME: CRESCENT HILLS CONDOMINIUMS

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805 N. GADSDEN STREET  
TALLAHASSEE, FL 32303 (850) 222-5678  
CERTIFICATE OF AUTHORIZATION No.00007245

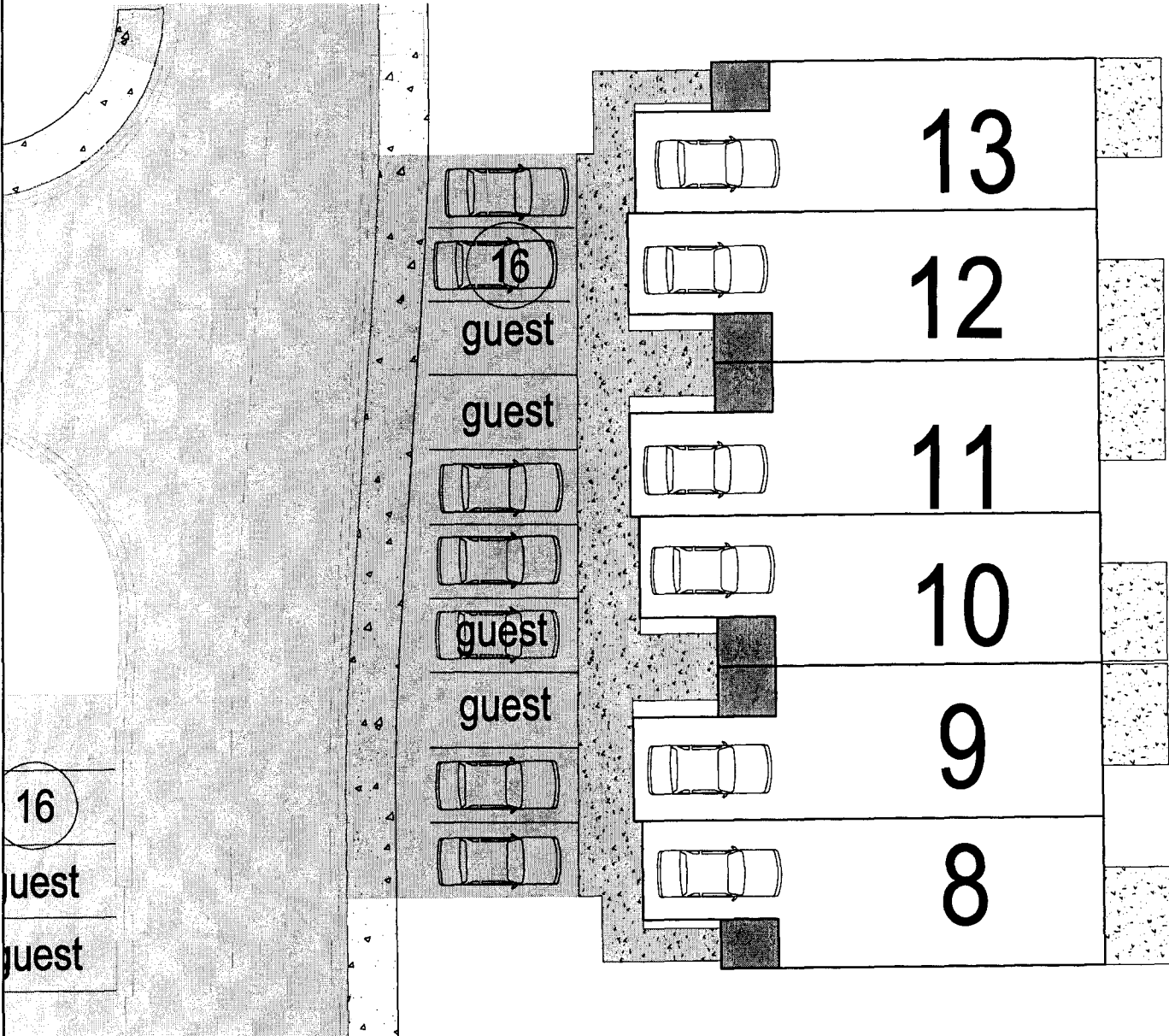
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2811-E INDUSTRIAL PLAZA DR. TALLAHASSEE, FL

PROJECT NAME: CRESCENT HILLS CONDOMINIUMS

SHEET TITLE	CONDOMINIUM SURVEY UNIT DETAILS - 4 & 5 UNIT COMBINATIONS	16
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TYPICAL PARKING CONFIGURATION

F.C.M. FOUND 4"x4" CONCRETE MONUMENT R.O.W. R/W - RIGHT-OF-WAY C.L. CENTERLINE R. RADIUS D. DELTA OR CENTRAL ANGLE A. ARC LENGTH T. TANGENT DISTANCE CH. CHORD BEARING AND DISTANCE P.B./PG. PLAT BOOK AND PAGE O.R./PG. OFFICIAL RECORDS BOOK AND PAGE D.B. DEED BOOK BOC. BACK OF CURB	F.I.P. FOUND IRON PIN F.N.C. FOUND NAIL IN CAP #000. PROFESSIONAL LAND SURVEY CERTIFICATE S.C.M. SET 4"x4" CONCRETE MONUMENT LB#7245 S.I.P. SET 1" IRON PIN LB#7245 S.N.C. SET NAIL AND 1" CAP LB#7245 (P). PLAT INFORMATION (D). DEED INFORMATION (C). CALCULATED INFORMATION (S). SURVEY INFORMATION P.O.C. POINT OF COMMENCEMENT P.O.B. POINT OF BEGINNING	<b>LEGEND</b> TELEPHONE POLE SIGNAL POLE GUY ANCHOR GAS METER GAS VALVE WATER VALVE SANITARY SEWER FLOW ARROW	ELEC. BOX TEL. PED. PP/TP COMBINATION POLE POWER POLE LIGHT POLE FIRE HYDRANT SANITARY SEWER MANHOLE	CURB INLET YARD DRAIN BASEMENT VENT GRATE INLET STORM MANHOLE HOSE BID WATER METER STORM FLOW ARROW BENCHMARK MONITORING WELL 9" OAK TREE (9" OAK)
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